

IN THE COUNTY COMMISSION OF WOOD COUNTY, WEST VIRGINIA
#1 COURT SQUARE, SUITE 203
PARKERSBURG WV 26101

IN RE: MINUTES OF MEETING HELD
MONDAY, MAY 4, 2015

PRESENT: STEPHEN GAINER, PRESIDENT
DAVID BLAIR COUCH, PRESIDENT
ROBERT K. TEBAY, COMMISSIONER

At 9:30 A.M., the County Commission of Wood County met in regular session. They signed purchase orders, invoices, orders and other correspondence.

The County Commission approved Erroneous Assessment Applications in regard to personal property and real property. Copies are attached to these minutes and shall be made a part thereof.

AGENDA AND DISCUSSION ITEMS

At 9:30 A.M., the County Commission met with Mark Lewis from the Convention and Visitors Bureau. They discussed National Tourism Week.

At 9:40 A.M., the County Commission met with Randy Atkinson and others to discuss a self-help project. After discussion, the County Commission authorized the advancement of \$8,100.00 to the Lubeck Public Service District to be utilized towards a water line extension grant, contingent on fund being available. Said funds are to be repaid to the Commission no later than September 1, 2015.

At 9:50 A.M., the County Commission met with Charlie Johnson, Administrator with the Sheriff's Department and Sheriff K. D. Merritt to discuss vehicles for the Sheriff's Department. No decision was made.

The County Commission, upon a motion duly made, seconded and passed, placed Roy Schleicher in nomination to fill a vacancy on the Wood County Planning Commission. (Order A/1449)

At 10:00 A.M., the County Commission, upon a motion made by David Blair Couch, seconded by Robert K. Tebay and made unanimous by Stephen Gainer, authorized the adoption of an Ordinance increasing the Wood County E-911 landline fees. Order M/3100-A along with the Ordinance is attached to these minutes and shall be made a part thereof.

The County Commission, following a public hearing in regard to the Wood County Planning Commission and upon a motion made by David Blair Couch, seconded by Robert K. Tebay and made unanimous by Stephen Gainer, authorized an Amendment to the Wood County, West Virginia Comprehensive Planning Program Land Use Regulations. Order M/3100 along with the amended regulations are attached to these minutes and shall be made a part thereof.

The County Commission announced that a vacancy exists on the WV Route 2 and Interstate 68 Authority due to the fact that Harold Wilkes is unable to serve due to health reasons. (Order A/1450)

ORDERS APPROVED AND ATTACHED TO THESE MINUTES

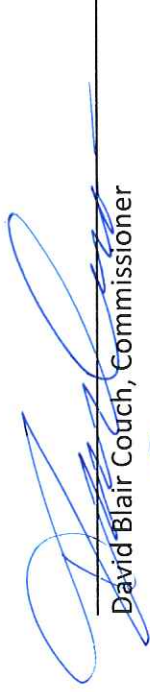
A/1449, A/1550, M/3093, M/3094, M/3095, M/3096, M/3097, M/3098, M3099, M/3100,
M/3100-A

Having no further scheduled appointments or business to attend to, the County Commission adjourned after the tour of the Happy Valley property.

APPROVED:

THE COUNTY COMMISSION OF WOOD COUNTY


Stephen Gainer, President


David Blair Couch, Commissioner


Robert K. Tebay, Commissioner

To listen to this meeting, please refer to DVD labeled May 4, 2015.

Wood County Commission Meeting
Held May 4, 2015

Please Print

1.	Mark Lewis
2.	Pamela K. VanMatre
3.	Nancy Cochran
4.	Deborah Shaffer
5.	Judith Smith
6.	Norman Smith
7.	Earl Hofmann
8.	Michael Gibson
9.	John Sites
10.	Randell Atkinson
11.	Craig Richards
12.	Earl Rader
13.	Charles Johnson
14.	K.D. Merritt
15.	RWOODYARD
16.	David H. Lawson
17.	Rich Shaffer Assessor
18.	
19.	
20.	



Wood County Commission Agenda

5/4/2015
1 Court Square, Suite 203
Parkersburg, WV 26101

9:30 A.M.	Discuss National Tourism Week	Mark Lewis, Convention and Visitors Bureau
	Consider request for advance funding and self-help project	Randy Atkinson, Lubeck Public Service District
	Discuss vehicles for the Sheriff's Department	Charlie Johnson, Administrator, Sheriff's Department
	Consider placing name in nomination to the Wood County Planning Commission	
	Consider proposed changes to the Wood County 9-1-1 landline fee structure	
	Announce vacancy on the WV Route 2 and Interstate 68 Authority	
10:00 A.M.	Public Hearing - discuss revision to the Comprehensive Planning Program Land Use Regulations, Wood County, West Virginia	
	Administrator's Report	Marty Seuffer, County Administrator
	County Commission Reports	

Discussion, Review and Approval of expenditures and disbursements identified on Exhibit 1, hereto attached

Correspondence for this meeting will be available for public review during regular office hours in Room 205 of the Wood County Courthouse two (2) days prior to the meeting

Exhibit I

Discussion, Review and Approval of the following items may be included during this meeting and are available for public inspection in the Office of the County Administrator two days prior to this meeting.

Budget revisions
Purchase orders and requisitions
Revisions, reimbursement requests, resolutions and correspondence for grants
Grant disbursements to other entities
Invoices for expenditures to be paid
Reimbursements for travel expenses
Bid specifications and procedures for bids previously authorized by the Commission
Monthly Hotel Occupancy Tax Collection disbursements
Disbursements for previously approved Innovative Programming Grants
Tax refunds, exonerations, improprieties and consolidations
Probate items, including settlements, petitions and Fiduciary Commissioner reports
General Fund disbursements to entities
Funding requests from local organizations by written form
Payroll modification as submitted by elected officials

SHERIFF

	NAME	LICENSE	VIN	YEAR	MAKE	MODEL	MILAGE
1	K.D. MERRITT	CY-2872	1FTFW1ET7DKE71882	2013	FORD	F-150	17337
2	M.F. Smith	7RV 680	1D4RE2GG4BC687592	2011	Dodge	DURANGO	67430
3	M.E. KING	77-166	1D8GU28K18W235926	2008	DODGE	NITRO	76532
4							
5	J K HAMRIC	6MS187	1FMFU16579EB03256	2009	FORD	EXPLORER	84222
6	W B RIFFLE	7RV687	2B3KA43GX8H232085	2008	DODGE	CHARGER	52395
7	D.C. MASSEY	SO 2957	2C3CDXAG3CH154096	2012	DODGE	CHARGER	61366
8	K M STEPHENS	SO 2883	1D4RE2GG8BC687594	2011	DODGE	DURANGO	69766
9	C S WALDRON	Temp	1FMEU7D82AUJA64422	2010	FORD	EXPLORER	87547
10	R G SIMS	SO2953	2C3CDXAG1CH154100	2012	DODGE	CHARGER	49760
11	J W ALLEN	SO3323	1FAHP2MK7FG109258	2015	FORD	SEDAN	9667
12	D S BUSSEY	OTS581	2G4WC582871196719	2007	BUICK	LaCross	63340
13	B A PICKENS	SO3324	1FAHP2MK5FG109257	2015	FORD	SEDAN	7940
14	L D KEARNS	SO 2852	2B3CL1CG0BH539947	2011	DODGE	CHARGER	78022
15	D.L. TENNANT						
16	R GEORGE	SO 2956	2C3CDXAG5CH154097	2012	DODGE	CHARGER	61306
17	J T MURPHY	SO 2887	1D4RE2GG0BC687590	2011	DODGE	DURANGO	76992
18	R C FRAZIER	SO 2855	2B3CLCG9BH539946	2011	DODGE	CHAR	92915
19	B.M. BUTCHER	SO 2884	1D4RE2GG6BC687593	2011	DODGE	DURANGO	58364
20	S.L. MODESITT	SO3102	1FM5K8AR7DGB54466	2013	FORD	PI-SUV	22796
21	G.M. DEEM	SO 3392	1FTFW1EF5DKD49080	2013	FORD	F-150	30052
22	M.L. COCHRAN	SO 3312	1FM5K8AR0FGA04377	2015	FORD	SUV	13333
23	R. WINDLAND	SO 2882	1D4RE2GGXBC687595	2011	DODGE	DURANGO	88240
24	B SWIGER	SO 2854	2B3CL1CG4BH539949	2011	DODGE	CHARGER	73821
25	A. SHRIVER	SO 3103	1FM5K8AR3DGB54464	2013	FORD	SUV	56935
26	T. ALLEN	8RA799	1GTHK29K48E200181	2008	GMC	2500	93647
27	M HUPP	SO3292	1FAHP2MK8EG161562	2014	FORD	SEDAN	11082
28	Z. SCHAAD	SO2878	1D8HB482X7F585326	2007	DODGE	Durango	118161
29	SIX	SO 2954	2C3CDXAG9CH154099	2012	DODGE	CHARGER	53749
30	KOCHERSBERGER	SO 2853	2B3CL1CG2BH539948	2011	DODGE	CHARGER	75076
31	MATHENY	SO 2955	2C3CDXAG7CH154098	2012	DODGE	CHARGER	54831
32							
33	D CROSS	SO 2690	2B3AA4CVXAH144489	2010	DODGE	CHARGER	89885
34	C WETZEL	SO 2691	2B3AA4CV8AH144491	2010	DODGE	CHARGER	87909
35	W. BLATT	SO 2688	2B3AA4CV6AH144487	2010	DODGE	CHARGER	76565
36	M.BROOKOVER	SO2689	2B3AA4CV8AH144488	2010	DODGE	CHARGER	92107
37	M. RITCHIE	SO2687	2B3AA4CV4AH144486	2010	DODGE	CHARGER	86705
38	T. MARLOW						
39	academy/bureau	4RJ448	2G1WB58KX79407551	2007	CHEVY	IMPALA	50259
40	academy/bureau	5PD680	1MEHM43106G614676	2006	MERCURY	MONT	67530
41	K-9 Pool	SO 2468	2B3KA43HX8H228207	2008	DODGE	Charger	112429
	Pool	SO2275	2FAP71W56X166290	2006	FORD	CV	74459

	NAME	PLATE	VIN	YEAR	MAKE	MODEL
42	TRANSPORT	CY 2046	JTDKN3DU8B5288901	2011	TOYOTA	PRIUS
43						161495
44						
45	TRANSPORT VAN	3136	1GTW7FCG8D1120985	2013	GMC	VAN
46	POOL NIGHT	SO 2389	1D8HB48237F585238	2007	DODGE	DRGO
47	POOL NIGHT	SO2686	2B3AA4CV2AH144485	2010	DODGE	Charger
48	POOL DAY	SO 2692	2B3AA4CV6AH144490	2010	DODGE	CHARGER
49	TRANSPORT	SO2968	3FADPOL30CR305249	2012	FORD	FUSION
50	SWAT	1749	1GTGG25R611174258	2001	GMC	VAN
51	COURT CAR	SO3425	2B3AA4CVXAH14492	2010	Dodge	Charger
52	Mercer, S	SO 2485	1D8GU28K28W251696	2008	DODG	NITRO
53	Sans, Curtis	SO 2486	1D8GU28KO8W251695	2008	DODG	NITRO
54	TRANSPORT	SO 3393	3FADP0L37CR305248	2012	FORD	FUSION
55	Accademy/Process	6MS971	1C3LC56R18N294518	2008	CHERY	SEBRING

HOME CONFINEMENT

56	Joy	2499	1D8HB38N08F152062	2008	DODGE	DRGO	96913
57	Rader	5MB110	1FMFU16559EB03255	2009	FORD	EXP	64633
58	Farnsworth	OU1067	1D8HB48257F585239	2007	DODGE	DRGO	94307
59	Allen	SO3426	1FMCU5K35AKC89884	2010	FORD	ESCAPE	49017
60	Stephens, S	SO 3394	1D4RE2GG2BC687591	2011	DODGE	DURANGO	72010

AUCTION VEHICLES

To Commission

NBJ417	1D4HB48296F176192	2006	DODGE	DRGO	113439
2394	2FAFP71V118X114665	2008	FORD	CV sedan	81000
2274	1D4HB48226F192105	2006	DODGE	DURANGO	125420
SO 2035	2FAFP71W55X152274	2005	FORD	Crown Vic	86651
SO 1743	2MEFM75V68X662818	2008	MERC	GR MAR	14199

revised 5/4/15

5/4/15
7/1/51

MAY 4, 2015

IN THE COUNTY COMMISSION OF WOOD COUNTY, WEST VIRGINIA

IN RE: THE COUNTY COMMISSION NOMINATED ROY SCHLEICHER
TO FILL A VACANCY ON THE WOOD COUNTY PLANNING
COMMISSION.

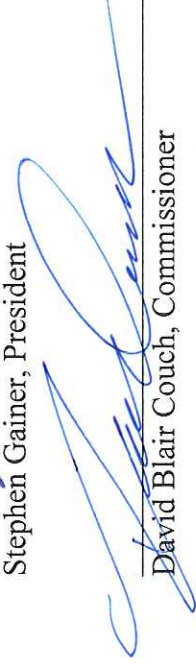
ORDER

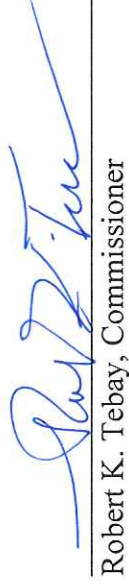
On this date, the County Commission of Wood County, upon a motion made by Robert K. Tebay, seconded by David Blair Couch and made unanimous by Stephen Gainer, nominated Roy Shleicher to fill a vacancy on the Wood County Planning Commission. Said nomination is pursuant to an Order appearing in Order Book 51, at Page 433 and bearing the date of April 1, 1991, dealing with the procedure policy for appointments to Boards and Authorities. The unexpired term of Kevin Roberts expires December 31, 2016.

APPROVED:

THE COUNTY COMMISSION OF WOOD COUNTY


Stephen Gainer, President


David Blair Couch, Commissioner


Robert K. Tebay, Commissioner

A/1449

MAY 4, 2015

IN THE COUNTY COMMISSION OF WOOD COUNTY, WEST VIRGINIA

IN RE: THE COUNTY COMMISSION ANNOUNCED THAT A
VACANCY WILL EXIST ON THE WEST VIRGINIA ROUTE 2
AND INTERSTATE 68 AUTHORITY.

ORDER

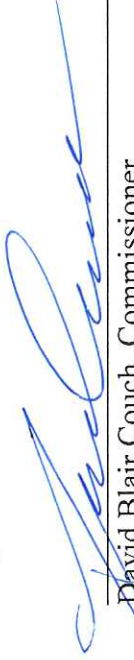
On this date, the County Commission of Wood County, upon a motion made by David Blair Couch, seconded by Robert K. Tebay and made unanimous by Stephen Gainer, announced that a vacancy exists on the West Virginia Route 2 and Interstate 68 Authority. Said vacancy is due to the fact that Harold Wilkes is unable to serve due to health reasons. His term expires June 30, 2016. Said vacancy is pursuant to an Order appearing in Order Book 51, at Page 433 and bearing the date of April 1, 1991, dealing with the procedure policy for appointments to Boards and Authorities.

APPROVED:

THE COUNTY COMMISSION OF WOOD COUNTY



Stephen Gainer, President



David Blair Couch, Commissioner



Robert K. Tebay, Commissioner

A/1450

5/4/15
7/1/52

MAY 4, 2015

IN THE COUNTY COMMISSION OF WOOD COUNTY, WEST VIRGINIA

IN RE: THE COUNTY COMMISSION WAS IN RECEIPT OF A CHECK FROM THE STATE OF WV IN THE AMOUNT OF \$45,918.75 WHICH REPRESENTS REIMBURSEMENT IN REGARD TO THE VICTIMS OF CRIME ASSISTANCE GRANT NUMBER 14-VA-031.

ORDER

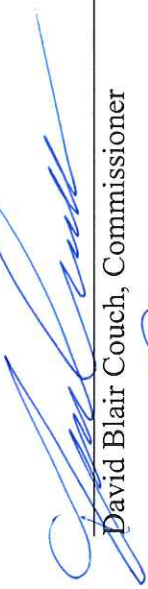
On this date, the County Commission of Wood County was in receipt of a check from the State of West Virginia in the amount of forty-five thousand nine hundred eighteen dollars and seventy-five cents (\$45,918.75) of which two thousand four hundred seven dollars and thirty-seven cents (\$2,407.37) represents reimbursement to Wood County for expenses incurred during the month of February, 2015, in regard to the Victims of Crime Assistance Grant Number 14-VA-031. Receipt of the aforementioned check is pursuant to an Order appearing in Order Book 71, at Page 36 and bearing the date of March 23, 2015, at which time Stephen Gainer, in his official capacity as President, and on behalf of the County Commission, was AUTHORIZED to EXECUTE the Request for Reimbursement.

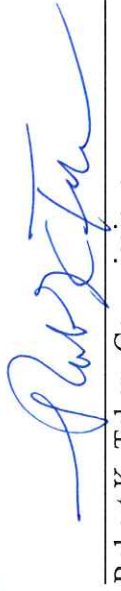
Documentation pertaining to the WVDCJS Victims of Crime Advocate Grant is on file in the Office of the County Administrator.

APPROVED:

THE COUNTY COMMISSION OF WOOD COUNTY


Stephen Gainer, President


David Blair Couch, Commissioner


Robert K. Tebay, Commissioner

M/3093

5/4/15
7/1/53

MAY 4, 2015

IN THE COUNTY COMMISSION OF WOOD COUNTY, WEST VIRGINIA

IN RE: THE COUNTY COMMISSION WAS IN RECEIPT OF A CHECK FROM THE STATE OF WV IN THE AMOUNT OF \$45,918.75 OF WHICH \$43,511.38 REPRESENTS REIMBURSEMENT IN REGARD TO THE WV DIVISION OF CRIMINAL JUSTICE SERVICES COMMUNITY CORRECTIONS GRANT 15-CC-09.

ORDER

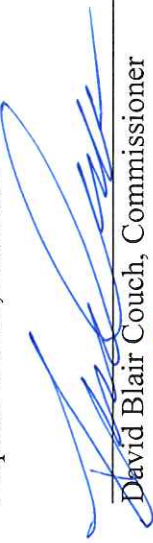
On this date, the County Commission of Wood County was in receipt of a check from the State of West Virginia in the amount of forty-five thousand nine hundred eighteen dollars and seventy-five cents (\$45,818.75) of which forty-three thousand five hundred eleven dollars and thirty-eight cents (\$43,511.38) represents reimbursement to Wood County for expenses incurred during the month of February, 2015, in regard to the West Virginia Division of Criminal Justice Services Community Corrections Grant Number 15-CC-09. Receipt of the aforementioned check is pursuant to an Order appearing in Order Book 71, at Page 36 and bearing the date of March 23, 2015, at which time Stephen Gainer, in his official capacity as President, and on behalf of the County Commission, was AUTHORIZED to EXECUTE the Request for Reimbursement.

Documentation pertaining to the WVDCJS Community Corrections Grant is on file in the Office of the County Administrator.

APPROVED:

THE COUNTY COMMISSION OF WOOD COUNTY


Stephen Gainer, President


David Blair Couch, Commissioner


Robert K. Tebay, Commissioner

M/3094

5/4/15
7/1/53

MAY 4, 2015

IN THE COUNTY COMMISSION OF WOOD COUNTY, WEST VIRGINIA

IN RE: THE COUNTY COMMISSION WAS IN RECEIPT OF A CHECK FROM THE STATE OF WV IN THE AMOUNT OF \$4,637.25 WHICH REPRESENTS REIMBURSEMENT IN REGARD TO THE GOVERNOR'S HIGHWAY SAFETY PROGRAM GRANT NUMBER F15-HS-03-402.

ORDER

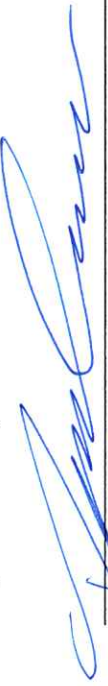
On this date, the County Commission of Wood County was in receipt of a check from the State of West Virginia in the amount of four thousand six hundred thirty-seven dollars and twenty-five cents (\$4,638.25) which represents reimbursement to Wood County for expenses incurred during the month of February, 2015, in regard to the Governor's Highway Safety Program Grant Number F15-HS-03-402. Receipt of the aforementioned check is pursuant to an ORDER appearing in Order Book 71, at Page 32 and bearing the date of March 16, 2015 at which time Stephen Gainer, in his official capacity as President and on behalf of the County Commission, was AUTHORIZED to EXECUTE the Request for Reimbursement.

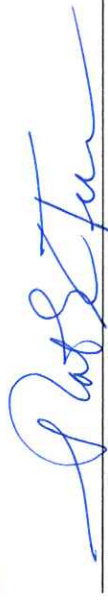
Documentation pertaining to the Governor's Highway Safety Program Grant is on file in the Office of the County Administrator.

APPROVED:

THE COUNTY COMMISSION OF WOOD COUNTY


Stephen Gainer, President


David Blair Couch, Commissioner


Robert K. Tebay, Commissioner

M/3095

5/4/15
7/1/15

MAY 4, 2015

IN THE COUNTY COMMISSION OF WOOD COUNTY, WEST VIRGINIA

IN RE: THE COUNTY COMMISSION WAS IN RECEIPT OF A CHECK
FROM THE STATE OF WV IN THE AMOUNT OF \$2,094.39
WHICH REPRESENTS REIMBURSEMENT IN REGARD TO THE
GOVERNOR'S HIGHWAY SAFETY PROGRAM GRANT
NUMBER F15-HS-03-DOHDD.

ORDER

On this date, the County Commission of Wood County was in receipt of a check from the State of West Virginia in the two thousand ninety-four dollars and thirty-nine cents (\$2,094.39) which represents reimbursement to Wood County for expenses incurred during the month of February, 2015, in regard to the Governor's Highway Safety Program Grant Number F15-HS-03-DOHDD Receipt of the aforementioned check is pursuant to an Order appearing in Order Book 71, at Page 33 and bearing the date of March 16, 2015, at which time Stephen Gainer, in his official capacity as President, and on behalf of the County Commission, was AUTHORIZED to EXECUTE the Request for Reimbursement.

Documentation pertaining to the Governor's Highway Safety Program Grant is on file in the Office of the County Administrator.

APPROVED:

THE COUNTY COMMISSION OF WOOD COUNTY



Stephen Gainer, President



David Blair Couch, Commissioner



Robert K. Tebay, Commissioner

M/3096

5/4/15
7/1/53

MAY 4, 2015

IN THE COUNTY COMMISSION OF WOOD COUNTY, WEST VIRGINIA

IN RE: THE COUNTY COMMISSION WAS IN RECEIPT OF A CHECK FROM THE STATE OF WV IN THE AMOUNT OF \$225.00 WHICH REPRESENTS REIMBURSEMENT IN REGARD TO THE GOVERNOR'S HIGHWAY SAFETY PROGRAM GRANT NUMBER F15-HS-03-405B.

ORDER

On this date, the County Commission of Wood County was in receipt of a check from the State of West Virginia in the amount of two hundred twenty-five dollars and zero cents (\$225.00) which represents reimbursement to Wood County for expenses incurred during the month of February, 2015, in regard to the Governor's Highway Safety Program Grant Number F15-HS-03-405B. Receipt of the aforementioned check is pursuant to an ORDER appearing in Order Book 71, at Page 33 and bearing the date of March 16, 2015 at which time Stephen Gainer, in his official capacity as President and on behalf of the County Commission, was AUTHORIZED to EXECUTE the Request for Reimbursement.

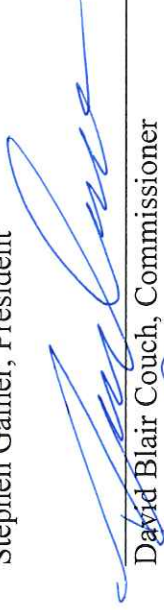
Documentation pertaining to the Governor's Highway Safety Program Grant is on file in the Office of the County Administrator.

APPROVED:

THE COUNTY COMMISSION OF WOOD COUNTY



Stephen Gainer, President



David Blair Couch, Commissioner



Robert K. Tebay, Commissioner

M/3097

5/4/15
7/1/54

MAY 4, 2015

IN THE COUNTY COMMISSION OF WOOD COUNTY, WEST VIRGINIA

IN RE: THE COUNTY COMMISSION WAS IN RECEIPT OF A CHECK FROM THE STATE OF WV IN THE AMOUNT OF \$2,001.36 WHICH REPRESENTS REIMBURSEMENT IN REGARD TO THE GOVERNOR'S HIGHWAY SAFETY PROGRAM GRANT NUMBER F15-HS-03-154.

ORDER

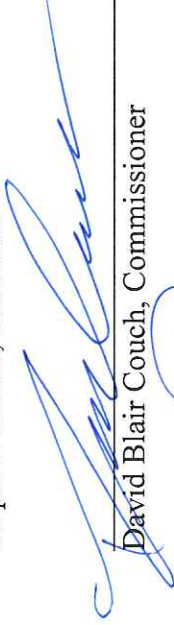
On this date, the County Commission of Wood County was in receipt of a check from the State of West Virginia in the amount of two thousand one dollar and thirty-six cents (\$2,001.36) which represents reimbursement to Wood County for expenses incurred during the month of February, 2015, in regard to the Governor's Highway Safety Program Grant Number F15-HS-03-154. Receipt of the aforementioned check is pursuant to an ORDER appearing in Order Book 71, at Page 33 and bearing the date of March 16, 2015, at which time Stephen Gainer, in his official capacity as President and on behalf of the County Commission, was AUTHORIZED to EXECUTE the Request for Reimbursement.

Documentation pertaining to the Governor's Highway Safety Program Grant is on file in the Office of the County Administrator.

APPROVED:

THE COUNTY COMMISSION OF WOOD COUNTY


Stephen Gainer, President


David Blair Couch, Commissioner


Robert K. Tebay, Commissioner

M/3098

5/14/15
7/1/54

MAY 4, 2015

IN THE COUNTY COMMISSION OF WOOD COUNTY, WEST VIRGINIA

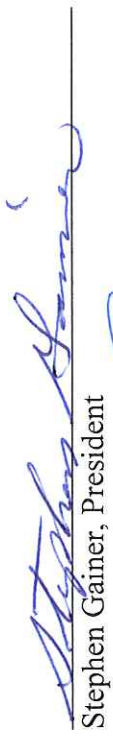
IN RE: THE COUNTY COMMISSION DID HEREBY AUTHORIZE THE
ADVANCE OF \$8,100.00 TO THE LUBECK PUBLIC SERVICE
DISTRICT.

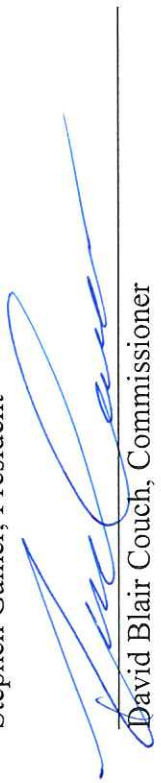
ORDER

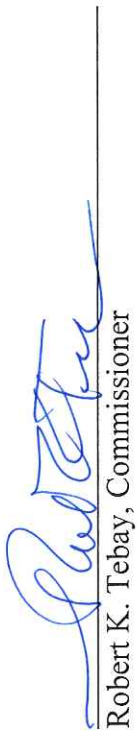
On this date, the County Commission of Wood County upon a motion made by David Blair Couch, seconded by Robert K. Tebay and made unanimous by Stephen Gainer, did hereby AUTHORIZE the advancement of eight thousand one hundred dollars and zero cents (\$8,100.00) to the Lubeck Public Service District to be utilized towards a water line extension grant, contingent on funds being available. Said funds are to be repaid to the Commission no later than September 1, 2015.

APPROVED:

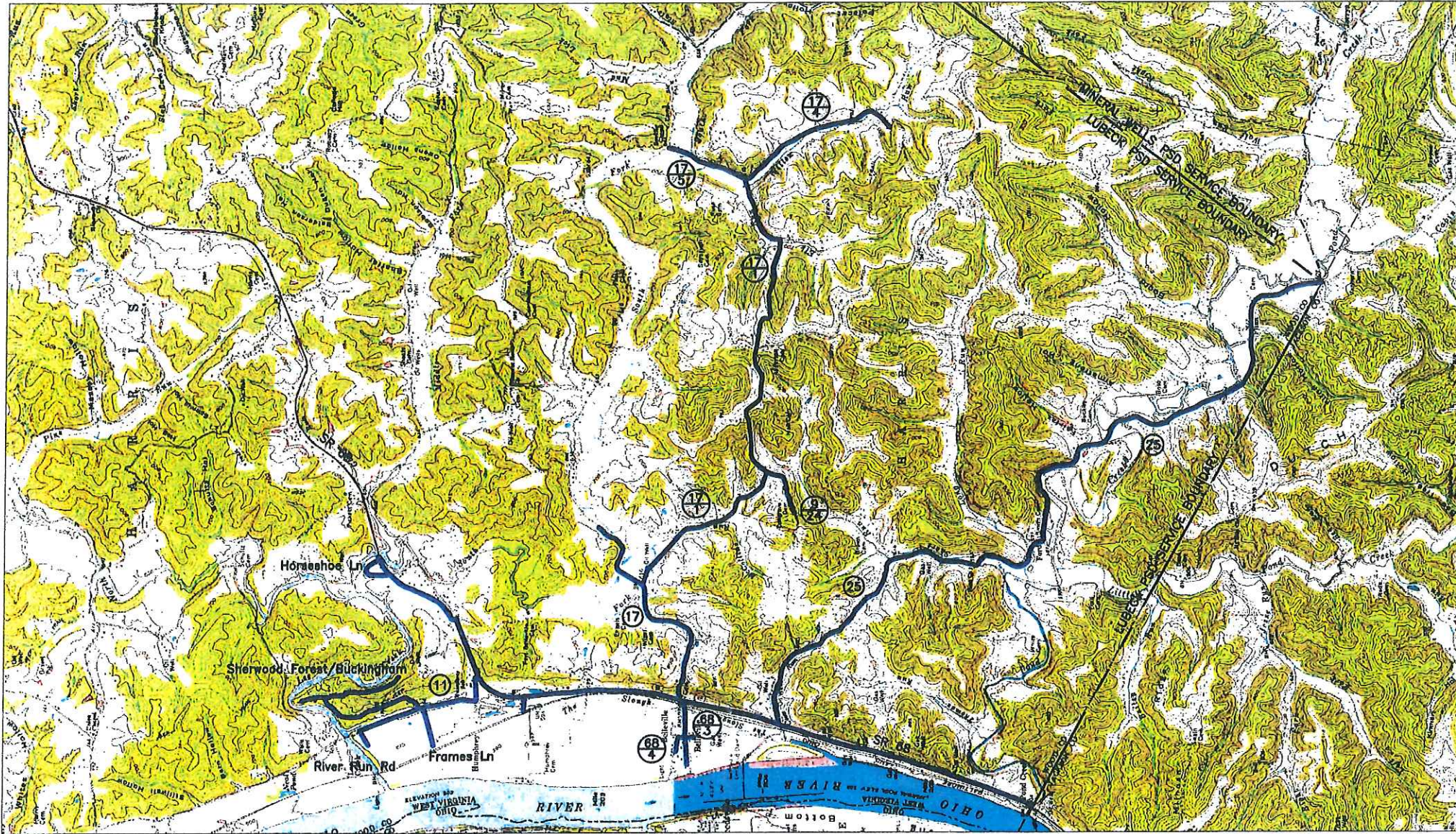
THE COUNTY COMMISSION OF WOOD COUNTY


Stephen Gainer, President


David Blair Couch, Commissioner


Robert K. Tebay, Commissioner

M/3099



PROPOSED WATER MAIN



Parkersburg, WV

BURGESS & NIPLE

**LUBECK PUBLIC SERVICE DISTRICT
BELLEVILLE SERVICE AREA
LOCATION MAP**

SCALE: 1"=3000'

DATE: Oct. 2010

SHEET NO.	OF
1	1

7/1/54
5/4/15

MAY 4, 2015

IN THE COUNTY COMMISSION OF WOOD COUNTY, WEST VIRGINIA

IN RE: THE COUNTY COMMISSION DID HEREBY AUTHORIZE AN
AMENDMENT TO THE WOOD COUNTY LAND USE
REGULATIONS.

ORDER

On this date, the County Commission of Wood County upon a motion made by David Blair Couch, seconded by Robert K. Tebay and made unanimous by Stephen Gainer, did hereby AUTHORIZE an Amendment to the Wood County, West Virginia Comprehensive Planning Program Land Use Regulations. Said Amendment follows a public hearing that was held at 10:00 A.M. on Monday, May 4, 2015 and also upon the recommendation of the Wood County Planning Commission following their meeting on Wednesday, November 5, 2014. Said Amendment removes Section 2.3b relating to an exemption for formation of lots five (5) acres or larger. Said Amendment shall be effective this day.

A copy of the amended regulations are attached to this Order and should be made a part thereof.

APPROVED:

THE COUNTY COMMISSION OF WOOD COUNTY


Stephen Gainer, President


David Blair Couch, Commissioner


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WOOD COUNTY, WEST VIRGINIA
COMPREHENSIVE PLANNING PROGRAM
LAND USE REGULATIONS

PART I

SUBDIVISION REGULATIONS

VOGT, IVERS AND ASSOCIATES
CONSULTANTS

ADOPTED BY THE WOOD COUNTY COURT: September 12, 1967
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SUBDIVISION REGULATIONS
WOOD COUNTY, WEST VIRGINIA

THE FOLLOWING REGULATIONS FOR THE CONTROL OF PLATS AND SUBDIVISIONS WERE FORMULATED AND PREPARED, AND ARE HEREBY ADOPTED BY THE WOOD COUNTY PLANNING COMMISSION UNDER AUTHORITY GRANTED BY CHAPTER 8A OF THE CODE OF WEST VIRGINIA.

SECTION 1. LIMITS OF REGULATIONS

The Subdivision Regulations contained herein shall apply to all territory within the jurisdiction of the Wood County Planning Commission. Modifications or exceptions to these Regulations must be approved by the Commission and made a matter of record in the minutes of the Commission.

SECTION 2. DEFINITIONS AND EXEMPTIONS

1. As used in these Regulations, Subdivision shall mean:

The division of a tract or parcel of land into two or more lots, building sites or other divisions for the purpose, whether immediate or future, of the transfer of ownership.

2. The following divisions of land shall be exempt from all Planning Commission review procedure:
 - a. The division of real estate by testamentary devise
 - b. The division of real estate pursuant to a decree of Court of competent jurisdiction.
3. The following divisions of land shall be exempt from review procedure of the entire Planning Commission, but shall be submitted for review by the staff of the Planning Commission for approval for recording:
 - a. The division of a tract or parcel of land into less than five lots, regardless of purpose, which does not involve the dedication of a new public way or the change of an existing public way.

- b. The formation of individual lots of less than five acres each provided the deeds for such lots declare that the property is to be merged with adjoining land for the purpose of increasing land area or adjusting shape and not for the purpose of new building sites.
- c. Division of a contiguous tract of real estate to the following named members of the Grantor's family or spouse of family member, or jointly to the below named family members and their spouses:
- | | |
|--------|---------------|
| father | daughter |
| mother | grandson |
| son | granddaughter |
- d. Voluntary division of real estate upon dissolution of a bonafide partnership that has been in existence for two years and the division does not involve any new public ways or the change of existing public ways.

PROVIDED, HOWEVER, that where a tract or parcel of land is divided into two or more parcels for whatever purpose, the owner thereof shall comply with the requirements of West Virginia law pertaining to the platting thereof and the recordation of such plat. (See WV Code 30-13A-16)

Flatland Subdivision – A subdivision where the average cross slope is less than fifteen percent (15%). This slope requirement to be determined by measurement of the average slope perpendicular to the proposed street line between the proposed rear lot lines and the center of the street serving the lots.

Hillside Subdivision – A subdivision where the average cross slope is fifteen percent (15%) or greater, the slope being defined above. Certain proposed subdivisions with areas of generally less than fifteen percent (15%) average slope may have special hillside problems and those may be classified, in part, as hillside subdivision land to benefit from the application of hillside subdivision standards.

Where held appropriate by the Commission, open spaces suitably located and of adequate size for parks, playgrounds, or other recreational purposes for local or neighborhood use shall be provided for in the proposed subdivision, and if not dedicated to the public, shall be reserved for the common use of all property owners in the proposed subdivision by covenant in the deeds.

Thoroughfare Plan – The part of the Comprehensive Plan, now or hereafter adopted which includes a major street and highway plan and sets forth the location, alignment, dimensions, identification, and classification of existing and proposed streets, highways and other thoroughfares.

Zoning Ordinance – The part of the Comprehensive Plan, now or hereafter adopted, including an ordinance and zone map which divides the jurisdiction of the Commission into zones, with regulations, requirements, and procedures for the establishment of land use controls.

Commission – The Wood County Planning Commission.

County Engineer – The Engineer of Wood County, or a qualified person so designated by the Wood County Planning Commission.

Arterial, Collector, and Secondary Highway – The highway or street facilities designed as such in the Thoroughfare Plan of the Commission.

Local Street – A street intended to serve and to provide access to neighborhoods or sub-neighborhoods.

Minor Street – Any street not an arterial, collector, secondary, or local street, and intended to serve and provide access exclusively to the properties abutting thereon.

Alley or Service Drive – A passage or way affording generally a secondary means of vehicular access to abutting properties.

SECTION 3. PROCEDURE

No person, firm or corporation, proposing to make or have made a subdivision within the jurisdictional limits of these Regulations shall make any contract for the sale of, or shall offer to sell said subdivision or any part thereof, or shall proceed with any construction work on the proposed subdivision, including grading, before obtaining from the Commission, the approval of the plat of the proposed subdivision.

No persons, firm or corporation shall contract to sell or offer to sell said subdivision or any part or parcel thereof by metes and bounds description with the idea of circumventing these Regulations, nor shall a building permit, now or hereafter adopted, or any other permit be issued for such subdivision or part or parcel thereof.

No person, firm or corporation which has been declared to have been in violation of the Subdivision Regulations at any time, and which said violations have not

been corrected to the satisfaction of the Commission, shall be permitted to sell a subdivision or any part thereof, nor shall any such person, firm, or corporation proceed with any construction work on any proposed subdivision, nor shall such person, firm or corporation be granted final approval of any subdivision plat. The Planning Commission shall have the right to deny approval to any person or entity seeking approval of a proposed subdivision upon the grounds that such person or entity has previously been found to be in violation of these Subdivision Regulations.

In planning and developing a subdivision the following procedure shall be followed:

1. The meeting schedule and approval process is as follows:
 - * Pre-conference meeting with the Subdivider shall be held by the Director of the Planning Commission prior to completing an application and prior to preparing a plat.
 - * Application Approval - Upon completion of the aforementioned pre-conference meeting, the applicant shall provide a written request to the planning commission for a determination of whether or not the application is complete. A one hundred dollar (\$100.00) application fee shall accompany said written request. The planning commission must determine by vote at the next regular meeting or at a special meeting, whether or not the application is complete based upon a finding that the application meets the requirements set forth in these Subdivision Regulations.
 - * Meeting Date & Public Notice - At a meeting where the application is determined to be complete, the planning commission must set a date, time and place for a public hearing and a meeting to follow the public hearing to vote on the application. The public hearing must be held within forty-five (45) days, and the planning commission must notify the applicant of the public hearing and meeting in writing unless notice is waived in writing by the applicant. The planning commission must publish a public notice of the public hearing and meeting in a local newspaper of general circulation in the area at least twenty-one (21) days prior to the public hearing.
 - * Vote on Application - At a meeting at the conclusion of the public hearing or a meeting held within fourteen (14) days after the public hearing, the planning commission shall vote to approve, deny or hold the application.
 - * Holding of Application - The application may be held for additional information necessary to make a determination. An application may be held for up to forty-five (45) days.

* Approval of Application - The planning commission shall approve the application after it determines that an application is complete and meets the requirements of the Subdivision Regulations of Wood County. If the planning commission approves the application, then the planning commission shall affix its seal on the subdivision or land development plan and/or plat.

* Conditional Approval - If the planning commission approves the application with conditions, then the planning commission must specify those conditions.

* Denial of Application - If the planning commission denies the application, then the planning commission shall notify the applicant in writing of the reasons for the denial. The applicant may request, one time, a reconsideration of the decision of the planning commission, which request for reconsideration must be in writing and received by the planning commission no later than ten days after the decision of the planning commission is received by the applicant.

2. The Subdivider shall prepare a plat of the proposed subdivision in accordance with requirements set forth in SECTION 4, and outlined in the Wood County Subdivision – Checklist Form, and shall file with the Commission an application in writing for the approval of said plat, accompanied by two (2) copies of the plat no less than twenty (20) days prior to the Planning Commission meeting in which the Subdivider is scheduled to appear.

3. The Commission shall notify adjoining property owners in writing of any proposed subdivision and the date, time and location set for the public hearing on said subdivision.

4. The Commission will check the plat for conformity with the official Thoroughfare Plan and other adopted parts of the Comprehensive Plan of Wood County, along with the principles, standards and requirements hereinafter set forth; and said plat will be referred by the Commission for recommendations or other action to the local and state officials or agencies having jurisdiction. At this time the Commission will decide if a performance bond running to the County will be required of the Subdivider in an amount determined by the Commission to be sufficient to complete the improvements. The Commission will also notify the Subdivider in writing of any maintenance requirements as further described in Section 6. Improvements.

5. The approval of the application by the Commission is to be considered as conditional approval of the layout, with the understanding that the other

officials having jurisdiction will examine the grades of the streets, the type of improvements, the layout of the drainage, sewage and water system, as proposed, and may modify any engineering or construction details proposed by the Subdivider.

6. The Subdivider, after the approval of the application (effective for twelve (12) months unless extended by the Commission) may then secure from the officials or agencies having jurisdiction the necessary permits or other authority to proceed with the required improvements.
7. The Subdivider, upon completion of all improvements required by these Regulations, or the posting of bond as stipulated under Subsection 4, above, shall file with the Commission two (2) copies of the final plat of the Subdivision for Final Approval. The final plat shall conform in every respect with the requirements specified in SECTION 6. Improvements, and shall conform substantially to the plat as approved, and, if desired by the Subdivider, it may constitute only that portion of the approved plat which he proposes to record and develop at the time, provided, however, that such portion conforms to all requirements of these Regulations.
8. The Director, after two (2) copies of the final plat have been received by the Commission, provided that the Final Plat is found to conform to all the requirements of these Regulations, will enter such approval thereon, signed by its President¹. The Commission then will transmit all copies of the Final Plat, with the State Health Department Certificate of Approval, together with the recommendation of the Commission to the County Commission for necessary action on any proposed dedications. Thereupon after acceptance by the County Commission, such acceptance and the date thereof will be indicated on copies of said plat – one copy for the Commission's files and one for the Subdivider.
9. The Subdivider then shall file one (1) copy of the Final Plat of the Subdivision so approved and accepted in the office of the County Clerk of Wood County. He will also file a copy of the required bond with the Wood County Commission.
10. Release or Partial Release of Performance Bond - Written recommendation for the release or reduction of the performance bond, if one is in effect, must be provided by the Wood County Compliance Officer. Upon receiving said recommendation, the Wood County Commission's approval is required for the reduction or release of the bond.

¹ The approval of the Final Plat by the Commission shall not be deemed to constitute or affect an acceptance by the public of the dedication of any street or other proposed public way, space or area shown on said plat.

SECTION 4. PLAT

1. One (1) copy of the Preliminary Plat of a proposed subdivision shall accompany an application in writing to the Commission and shall bear the certification of a licensed Surveyor, also the names and addresses of the owner/owners of the subdivision.
2. The horizontal scale of the plat shall be 100 feet or less to the inch. Drawings – maximum 18" x 24".
3. The plat shall clearly contain and show the following features and information.
 - a. The proposed name of the subdivision, with pertinent tax map, page number and tract number, which shall not duplicate or closely approximate the name of any other Subdivision in Wood County.
 - b. The layout, proposed names, and widths of all proposed streets, alleys and easements; proposed street names shall not duplicate or closely approximate existing street names in the unincorporated areas of the County, except extension of existing streets.
 - c. The layout, assigned numbers, and approximate dimensions of proposed lots; lots will be numbered in numerical order.
 - d. Zoning boundary lines; proposed uses of property and proposed front yard setback and other setback lines if required will be noted in the deeds.
 - e. All parcels of land intended to be dedicated or reserved for use, or to be reserved in the deeds for the use of the property owners in the subdivision, with purpose, conditions or limitations of such dedications or reservations indicated.
 - f. North-point, scale (both numerical and graphic) and date.
4. A vicinity sketch at a scale of four hundred feet (400') or more to the inch shall be drawn on the plat. Such vicinity sketch shall show all street lines immediately adjoining the proposed subdivision and between it and the nearest existing highways and thoroughfares.
5. All plat boundary lines with lengths of course to hundredths of a foot and bearings to half-minutes – these boundaries to be determined by an accurate survey in the field which shall be balanced and closed with an error of closure not to exceed one (1) to five thousand (5,000).

6. The exact locations and the widths along the property lines of all the existing or recorded streets intersecting or paralleling the boundaries of the tract.
7. True bearings and distances to nearest established street bounds, other established survey lines, or other official monuments, which monuments shall be located or accurately described on the plat.
8. The accurate location and material of all new permanent monuments; as a minimum, permanent points shall be placed at each lot corner.
9. The exact layout including: (1) street and alley lines – their names, bearings, angles of intersection and widths (including widths along the line of any obliquely intersecting street); (2) the lengths of all arcs, radii, points of curvature and tangent bearings; (3) all easements or rights-of-way, when provided for or owned by public utilities or services (with limitation of the easement rights definitely stated on the plat); (4) all lot lines with dimensions in feet and hundredths, and with bearings or angles to minutes if other than right angles to the street and alley lines.
10. A notation on the plat that private restrictions, if any, exist.
11. A notation on the plat that an accompanying plan has been filed in the Office of the Wood County Planning Director.

SECTION 4A. PLAN

1. The plan shall contain and show the following features and information.
 - a. The location and names of adjoining subdivisions and the names and addresses of record owners of adjoining parcels of unplatted land, along with the description of the uses of adjoining parcels, or the intended use, if known.
 - b. Contours normally with intervals of five feet (5') reference to a permanent benchmark (this will be required to be provided on the same sheet as items c & f below).
 - c. Existing sewers, water mains, culverts and other underground structures within the tract and immediately adjacent thereto with pipe sizes and fire hydrants, also grades included. Sewer on a separate plat must be filed with the Commission; approval of the Health Department for water and sewer with size of pipe, also approval of Public Service District serving the area (this will be required to be provided on the same sheet as b above and f below).

d. The maximum grades and typical cross-sections of all proposed streets, with crown; type of construction for each will be identified as "cement concrete", "asphaltic concrete", "stone", or "other" (as further defined in SECTION 6. IMPROVEMENTS).

e. A Construction Sediment Control Plan will be required to address ways and means to control soil erosion problems.

f. The location and approximate sizes of proposed catch basins, culverts, and other drainage structures (this will be required to be provided on the same sheet as b and c above).

g. All parcels of land intended to be dedicated or reserved for use, or to be reserved in the deeds for the use of the property owners in the subdivision, with purpose, conditions or limitations of such dedications or reservations indicated. This should be in the deed language and the homeowner's association agreement.

h. Private restrictions, if any, concerning (1) boundaries of each type of use restriction, or (2) other private restrictions for each definitely restricted section of the Subdivision.

SECTION 5. MODIFICATIONS AND EXCEPTIONS

The general principles of design and minimum requirements for the laying out of subdivisions, set forth in APPENDIX A, may be varied by the Commission in the case of a subdivision large enough to constitute a more or less self-contained neighborhood which is to be developed in accordance with a coordinated plan safeguarded by appropriate restrictions, and which, in the judgment of the Commission, makes adequate provision for all essential community requirements, provided however, that no modification shall be granted by the Commission which would conflict with the proposals of the official Thoroughfare Plan of Wood County, or with the intent of said general principles of design and minimum requirements.

In the case of a subdivision of small size and minor importance, situated in a locality where conditions are well defined, the Commission may exempt the Subdivider from complying with some or all of the requirements stipulated in SECTION 4, pertaining to the preparation of the plat.

In any particular case where the Subdivider can show that, by reason of exceptional topographic or other physical conditions, strict compliance with any requirement of these Regulations would cause unusual difficulty or exceptional

and undue hardship, the Commission may relax such requirement to the extent deemed just and proper, so as to relieve such difficulty or hardship; provided that such relief may be granted without detriment to the public good and without impairing the intent and purposes of these Regulations or the desirable general development of the neighborhood and the community in accordance with the Comprehensive Plan of Wood County. Modifications or exceptions may be either temporary or permanent. Any modification thus granted shall be entered in the minutes of the Commission setting forth the reasons which, in the opinion of the Commission, justified the modification and the expiration date of the modification or exception if it is temporary. After the expiration date, the responsible party or parties must have complied with these Regulations or, before such expiration date, request the Commission to extend, modify or make permanent the modification or exception.

SECTION 6. IMPROVEMENTS

Improvements shall be installed in accordance with the stipulations below and as enumerated in APPENDIX A: GENERAL PRINCIPLES OF DESIGN AND MINIMUM REQUIREMENTS FOR THE LAYOUT OF SUBDIVISIONS. APPENDIX A is part of the Subdivision Regulations of Wood County, West Virginia and constitutes the detailed instructions to the Subdivider for the development of the subdivision and the required documents described herein.

1. Where development of a Subdivision may require cutting or filling of the existing ground surface, the Commission, shall require the applicant to submit a Soil Report that points out the soils found on the proposed development and how the soils are suited to the planned use. The Little Kanawha Soil Conservation Service, or private firms are suggested sources for soil information.
2. Every Subdivision shall be provided with a storm-water sewer or drainage system adequate to serve the area being platted and otherwise meeting the approval of the Commission.
3. The application and plat shall be accompanied by evidence acceptable to the Commission that the developer of the Subdivision has made application for a National Pollutant Discharge Elimination System General Permit for Storm Water Discharges associated with Industrial Activities (hereafter "NPDES") for any subdivision with an area of three (3) or more acres, or a Sediment Control Plan (hereafter "SCP")² if the area of the subdivision is less than three (3) acres when required by Federal or State Law.

² This SCP is in addition to the NPDES, mandated by the 1987 Clean Water Act, which developer is required to file if the development is more than three acres in area. See SECTION 6, Paragraph 3.

4. A statement informing the owner/builder that prior to the issuance of a building permit, there must be an individualized Sediment Control Plan (SCP), approved by the West Virginia Soil Conservation Committee for that lot on file with the Commission when required by Federal or State Law.
5. Every Subdivision shall be provided with a complete water distribution system adequate to serve the area being platted including a connection for each lot and appropriately spaced fire hydrants. The entire water system shall be designed to meet the approval of the State Health Department and the Public Service District by which the area is served.
6. In every Subdivision, provision shall be made for the satisfactory disposal of sanitary sewage, as follows:
 - a. Where a public sanitary sewer main is reasonably accessible that meets Health Department Regulations, in the opinion of the Commission and officials having jurisdiction, the Subdivision shall be provided with a complete sanitary sewer system connected with such sewer main, including a lateral connection for each lot.
 - b. Where a public sanitary sewer main is not reasonably accessible, in the opinion of the Commission and the Wood County Health Department having jurisdiction, proper provisions shall be made for the disposal of sanitary wastes.
7. Poles for electric service or telephone poles shall be placed in easements provided along rear or side lot lines, as agreed upon with the public utilities concerned, wherever this is practicable. Underground conduits for electric service shall be placed in easements provided along rear, or along side lot lines, or along subdivision streets, as agreed upon with the public utilities concerned, wherever this is practicable.
8. All new Subdivisions shall have six inch (6") water lines, and fire hydrants installed every one thousand feet (1000').
9. Street Requirements – General
 - a. Subdivision streets which are continuations of existing subdivision streets must be up to the specifications of these Regulations or of the same quality as the existing streets, relative to the type of service, paved width, shoulders or curbs, etc., whichever standard is higher.
 - b. Cross-section of each proposed street, at a scale of ten (10) feet or less to the inch showing the width of and location of utility mains.

- c. Streets shall be established to avoid jogs at intersections and shall intersect other streets as near to a 90-degree angle as topography permits. Any intersection angle less than 70 degrees shall require approval of the Commission.
- d. At the discretion of the Commission, certain proposed streets shall be extended to the boundary line of the tract to provide for adequate circulation of traffic within the vicinity.
- e. Dead-end streets shall be approved if limited to one thousand feet (1000') long for Flatland Subdivisions and two thousand feet (2000') long for Hillside Subdivisions.
- f. A complete and comprehensive traffic flow pattern design must be presented to the Commission for consideration.
- g. Where it can be clearly demonstrated by the Subdivider that the topographic conditions will prevent the utilization of all possible building sites in the Subdivision if all lots are required to abut on a street, some variation from that requirement may be permitted by the Commission by means of the careful design and adequate construction of private drives subject to the following requirements:
- (1) Not more than three (3) lots shall be served by any one private drive.
 - (2) Private drives shall be constructed of the same material and with the same design characteristics as required for wider streets, except that the minimum surface width of a private drive may be sixteen feet (16').
 - (3) Common and joint maintenance by all owners, present and future, of the lots served by the private drives shall be made a part of the deed of each of the lots, stipulating adequate maintenance and insuring passability.
 - (4) When private drives are utilized, provision shall be made on the lots for the off-street parking of at least three (3) automobiles for each lot served by the private drive. Such additional off-street parking may be provided in a common and shared lot on the premises.
 - (5) When the Commission approves the use of private drives in the Subdivision, such approval shall be entered in writing in the Commission minutes together with a copy of the deed restrictions which is required by Item 3. above.

h. At a street and an alley intersection, property line corners shall be rounded by an arc; minimum radii of which shall be ten feet (10') and five feet (5') respectively. The street curb shall be rounded by a radius of at least fifteen feet (15').

10. Street Requirements – Right-of-Way

- a. Collector or Secondary highways: Not less than sixty feet (60') wide in any case.
- b. Local streets: All local streets should be uniform, that is forty feet (40').
- c. Minor streets and Dead-end streets: Forty feet (40") wide, terminating in a circular turn-around with a minimum right-of-way diameter of seventy-five feet (75'); a "Y" or a "T" turnaround is also permissible.
- d. Alleys and service drives: Twenty feet (20') wide.
- e. Easements for Utilities shall be at least fifteen feet (15') wide and located according to the following options:
 - (1) centered on rear lot lines
 - (2) centered on the side lot lines
 - (3) along one side of subdivision streets
 - (4) half of the easement on each side of subdivision streets

11. Street Requirements – Minimum Pavement Widths

- a. Pavement widths for collector streets will be as designed in the Thoroughfare Plan, or as determined by the Commission. Where required to be provided as part of the Subdivision, the Subdivider will be responsible for the total paved width of thirty-one feet (31') including curbs.
- b. Local streets, minor streets, and dead-end streets shall have minimum paved widths of twenty-two feet (22') without curbs, twenty-four feet (24') (face to face of curb) where curbs and gutters are required.
- c. diameter of sixty feet (60'). Pavement of a turning circle shall have a minimum outside

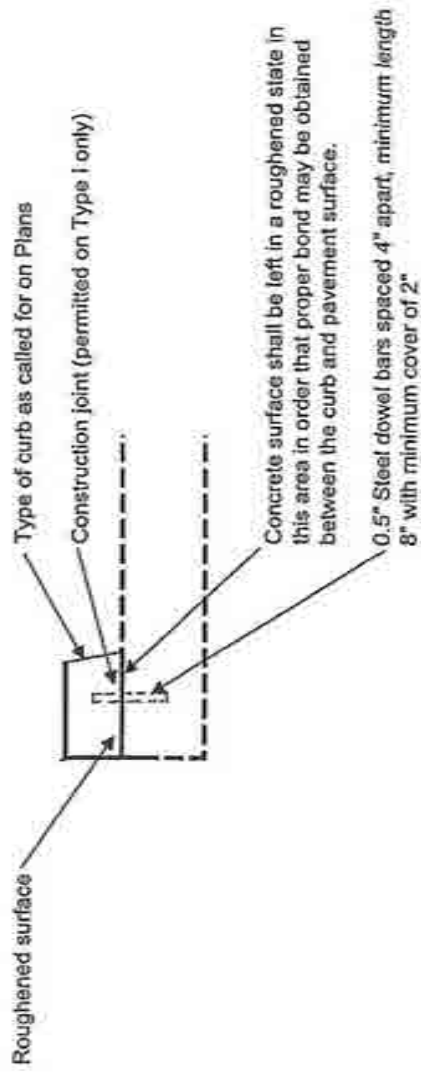
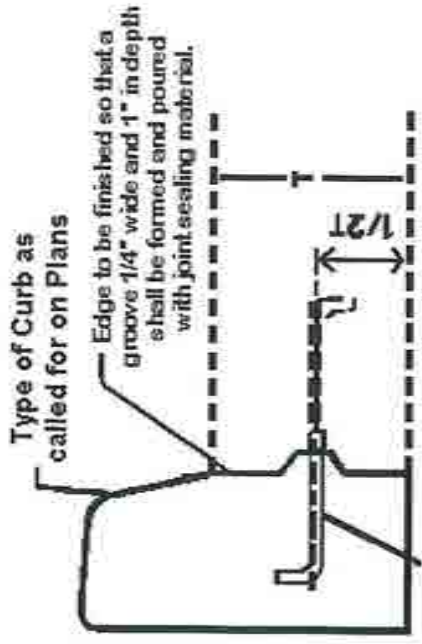
12. Street Requirements – Grade, Curves, and Sight Distances

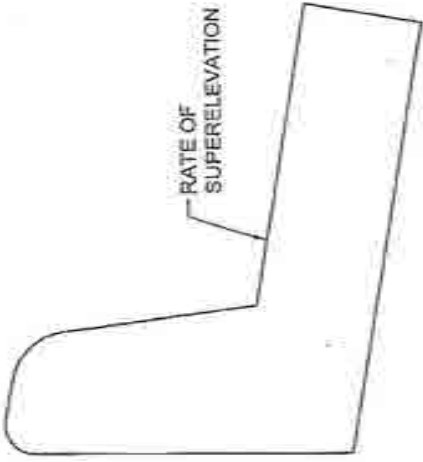
- a. The grades of any street or alley shall not be less than five-tenths percent (0.5%).

- b. Arterial, collector, or secondary highways as designed by the Thoroughfare Plan shall be limited to a maximum grade of seven percent (7%).
- c. Local streets, minor streets, and dead-end streets shall be limited to a maximum grade of ten percent (10%) for Hillside Subdivisions.
- d. Alleys shall be limited to a maximum grade of ten percent (10%) where they are primarily for residential service, but shall be limited to a maximum grade of eight percent (8%) when used to provide services to commercial property.
- e. All changes in street grade of one percent (1%) or more shall be connected by vertical curves. The length of the vertical curve will be determined on the basis of providing stopping-sight distances for each road classification where design-speed for arterial, collector, and secondary speed is forty (40) mpg., local streets is twenty-five (25) mph., and minor streets, dead-end streets and alleys is twenty (20) mph. In no case shall the length of the required vertical curve be less than fifteen (15) times the algebraic difference in rate of grades for arterials, collectors and secondary streets or one-half (1/2) of this minimum for all other streets.
- f. The radii of curvature on the centerline of the street shall not be less than that required to produce stopping-sight distance as defined in Item 12e above. In no case, however, shall the radii of curvature for arterials, collectors, and secondary streets be less than three hundred feet (300') or for local streets, minor streets, service drives, and alleys be less than fifty feet (50').

13. Street Requirements – Curb Specifications

Curbing for concrete and asphaltic concrete streets. Details showing placing of concrete curb by separate methods [Reference: WV Department of Transportation, Division of Highways, PVT6:





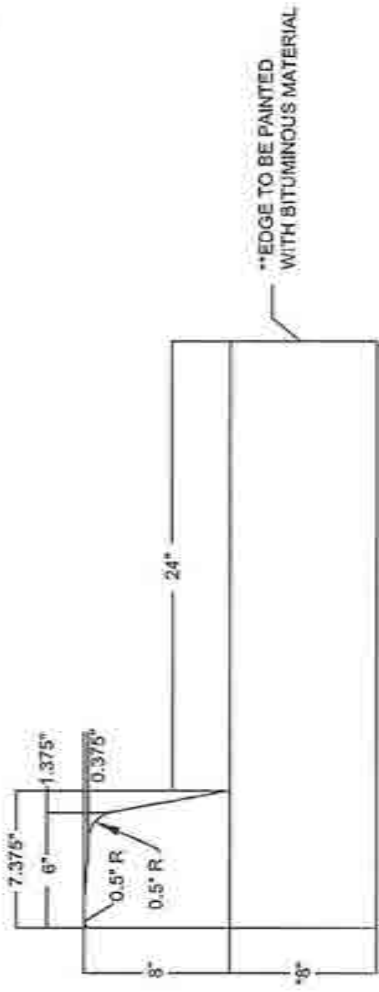
METHOD OF PLACING CURB ON HIGH SIDE
OF SUPERELEVATED SECTION



METHOD OF PLACING CURB ON LOW SIDE
OF SUPERELEVATED SECTION

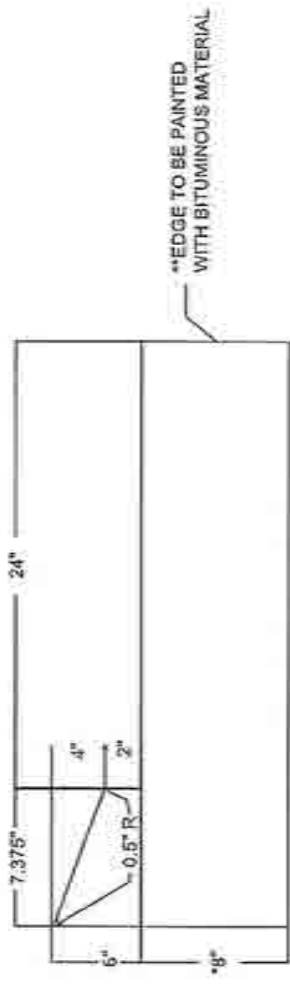
Combination Concrete Curb and Gutter:

COMBINATION TYPE I



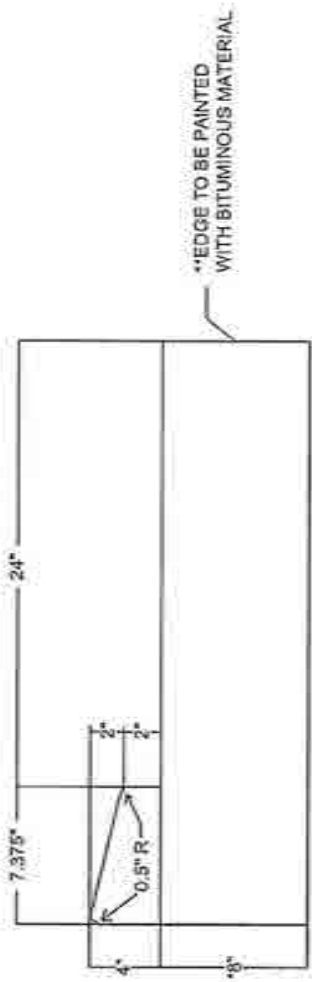
* OR THICKNESS OF PAVEMENT, WHEN ABUTTING CONCRETE PAVEMENT

** DOES NOT APPLY WHEN ABUTTING CONCRETE PAVEMENT. INSTEAD A LONGITUDINAL JOINT WITH TIE BARS OR TIE BOLT ASSEMBLIES SHALL BE CONSTRUCTED AT THIS LOCATION.



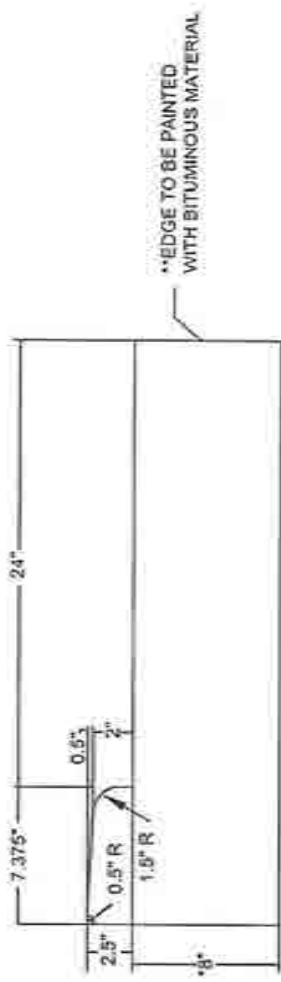
COMBINATION TYPE II

COMBINATION TYPE III



* OR THICKNESS OF PAVEMENT, WHEN ABUTTING CONCRETE PAVEMENT

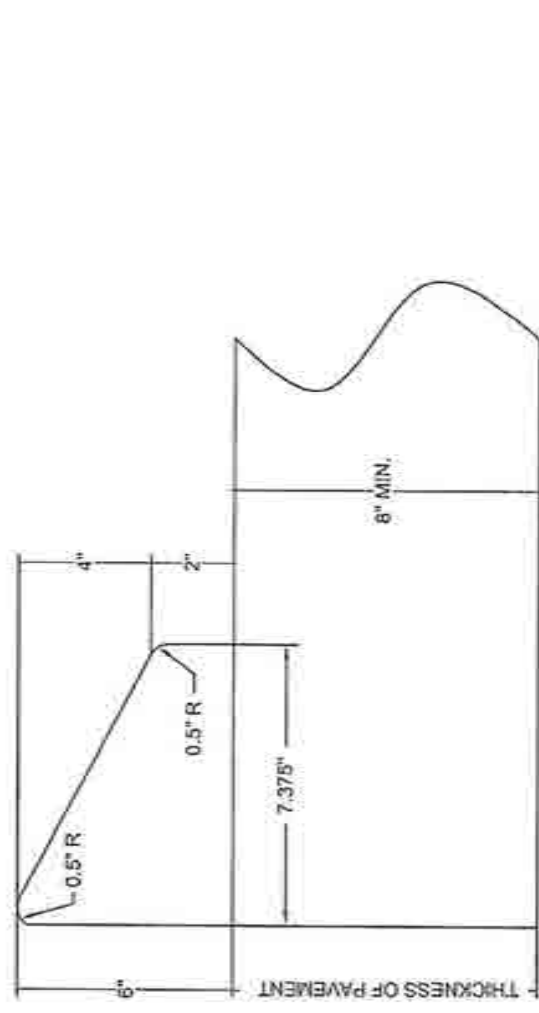
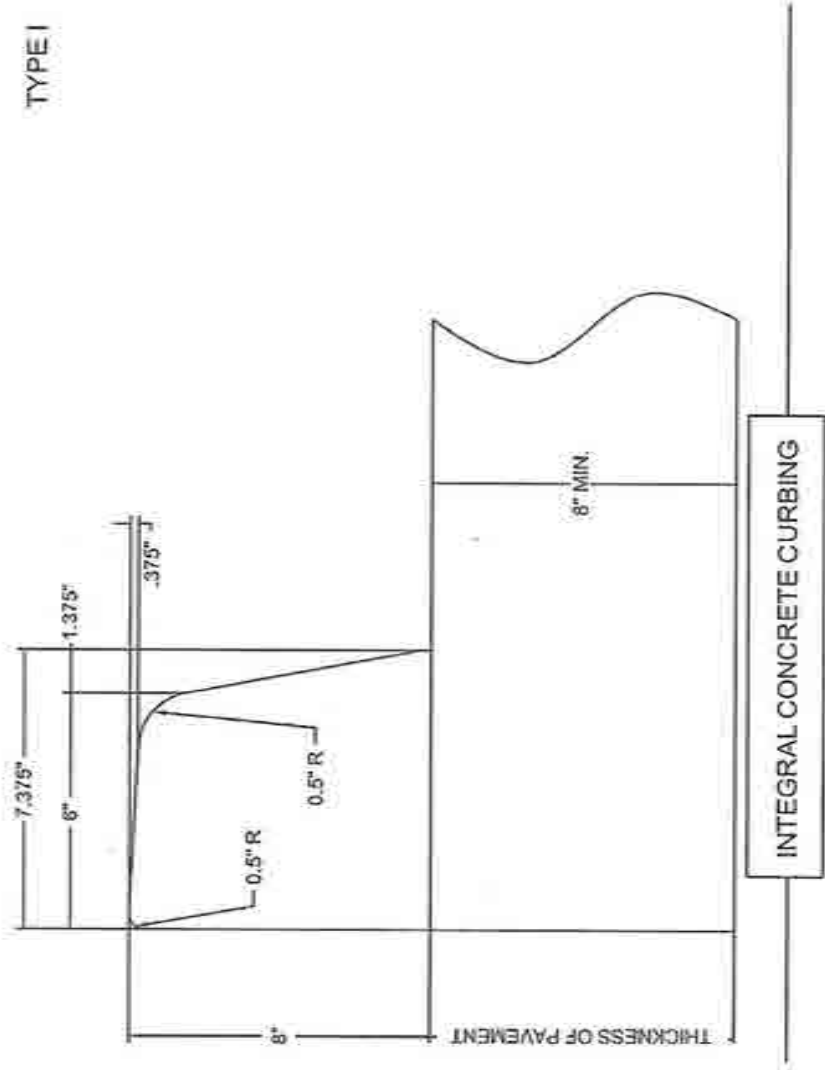
** DOES NOT APPLY WHEN ABUTTING CONCRETE PAVEMENT. INSTEAD A LONGITUDINAL JOINT WITH TIE BARS OR TIE BOLT ASSEMBLIES SHALL BE CONSTRUCTED AT THIS LOCATION.



COMBINATION TYPE IV

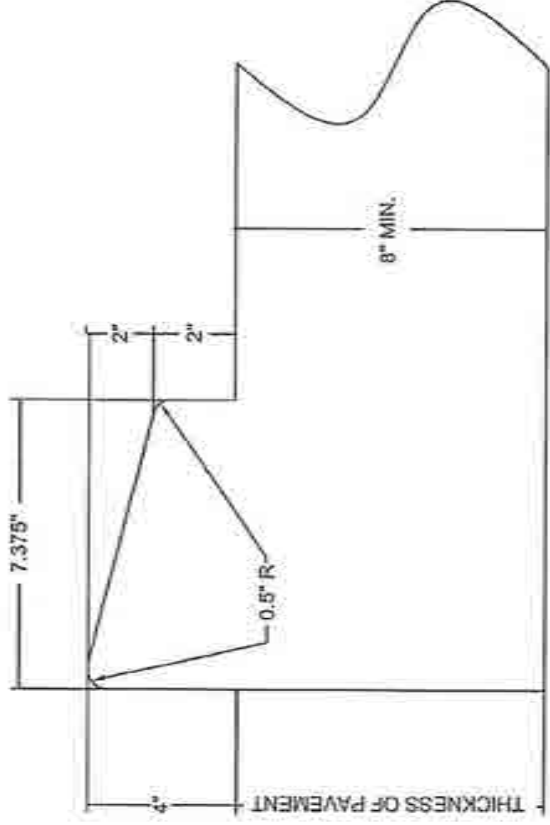
Integral Concrete Curbing:

TYPE I

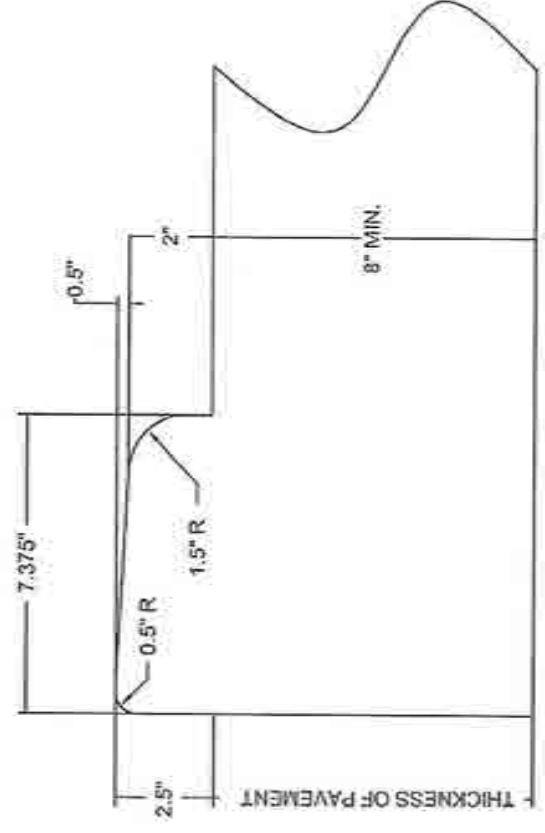


TYPE II

TYPE III



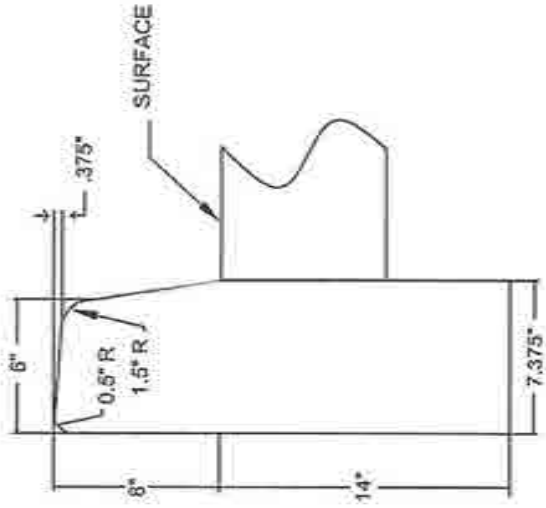
INTEGRAL CONCRETE CURBING



TYPE IV

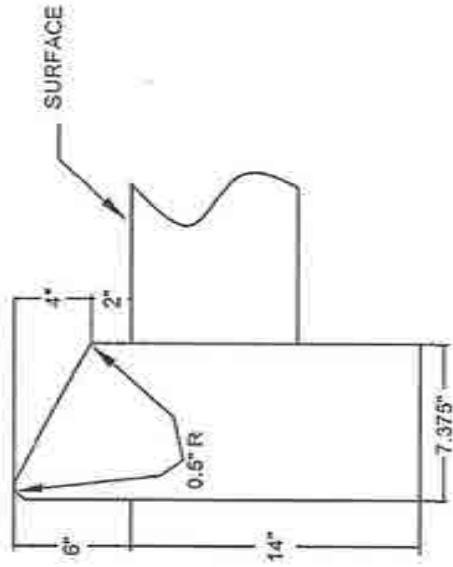
Plain Concrete Curbing:

TYPE I

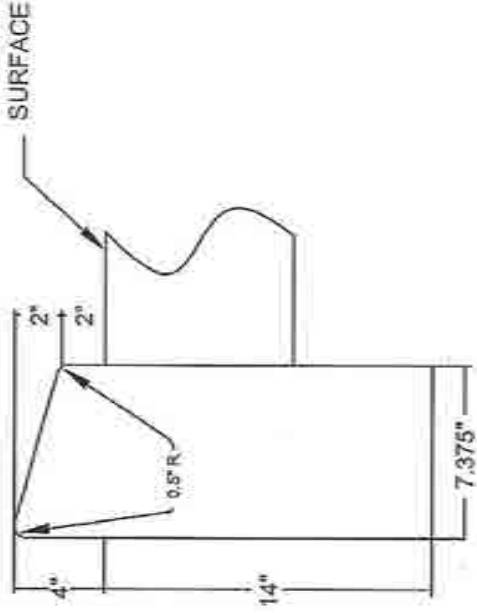


PLAIN CONCRETE CURBING

TYPE II



TYPE III



PLAIN CONCRETE CURBING

14. Street Requirements – Construction Specifications

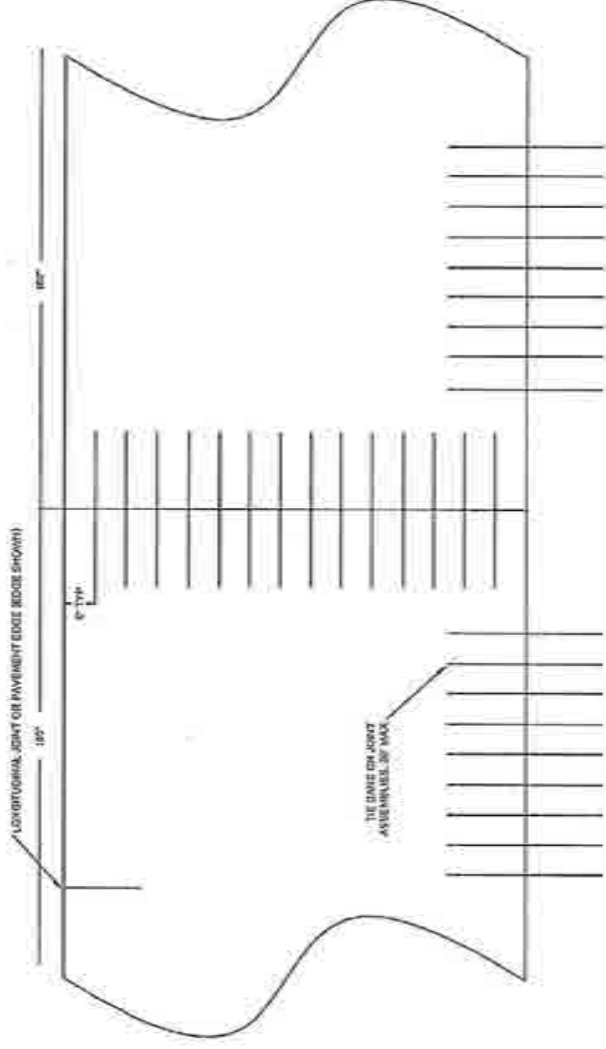
- a. Subgrade shall be bladed smooth to the correct slope and grade. All large stones, boulders, and debris shall be removed; subgrade shall be free from organic materials, sludge, rubbish, brush, limbs, spongy or frozen soil, and other objectionable substances.
- b. One four inch (4") layer of one inch(1") to one and one-half inch (1-1/2") crushed stone shall be spread and rolled to proper crown and contour.
- c. If surface is to be left as crushed stone, a second layer of one-quarter inch (1/4") to one-half inch (1/2"), two inches (2") thick, shall be spread and rolled. In the case of a stone road surface, the Subdivider will be responsible for completing the road to the specifications of these Regulations up to and including the location of any lot that has been sold by that Subdivider.

Further, the Subdivider shall be responsible for the maintenance of any stone surfaced road to the specifications set forth in these Regulations for a period of two (2) years following the assumption of residence by the first homeowner in the Subdivision or for six (6) months following the completion of any additional section of stone roadway, whichever time period is longer. Such responsibility shall be made a matter of record in

all deeds pertinent to the Subdivision, along with the expiration date for such responsibility. If the Subdivider cannot maintain or complete the roadway to the specifications set forth in the Regulations, the Subdivider may ask the Planning Commission for an exception or modification as provided in SECTION 5, of these regulations.

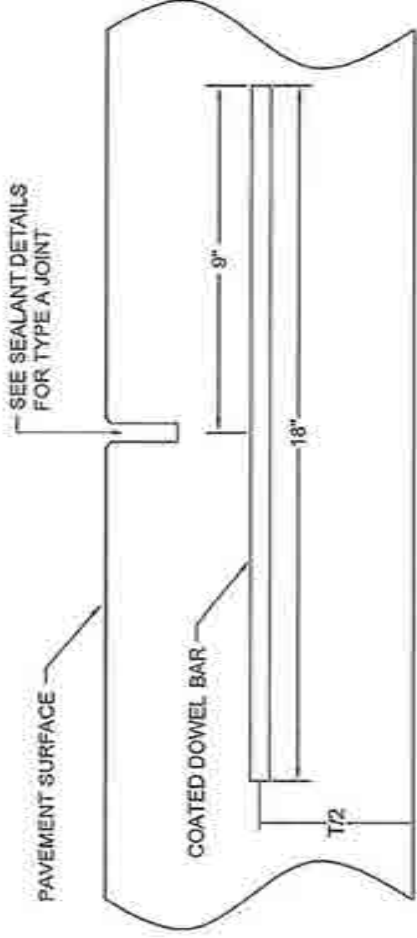
- d. If the surface is to be cement concrete, a minimum of six inches (6") of six-bag concrete with No. 6 (6x6x6) road mesh shall be placed over the first stone course described in (b) above.

The typical joint spacing and specifications are as follows:

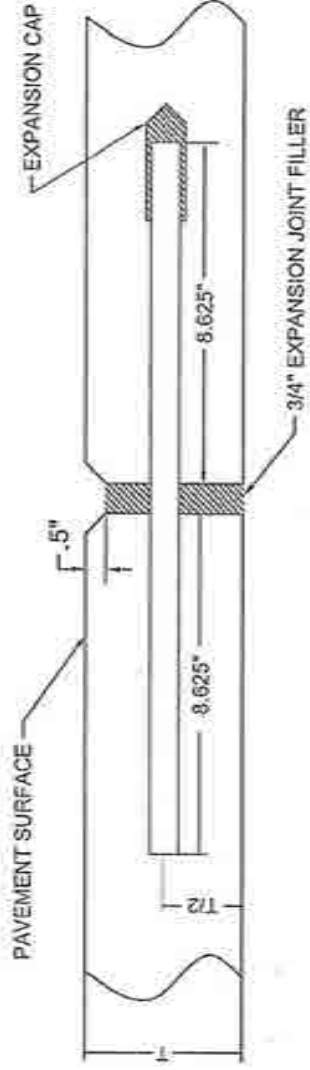


LONGITUDINAL JOINT SPACING

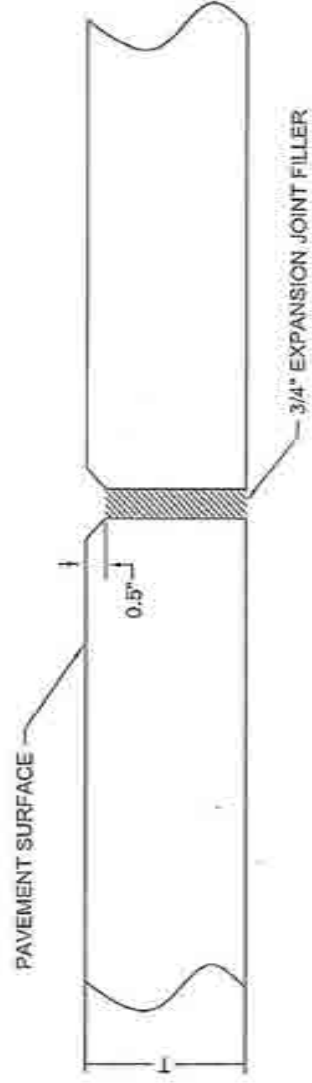
Joint types – Contraction or construction, expansion, longitudinal and keyed.



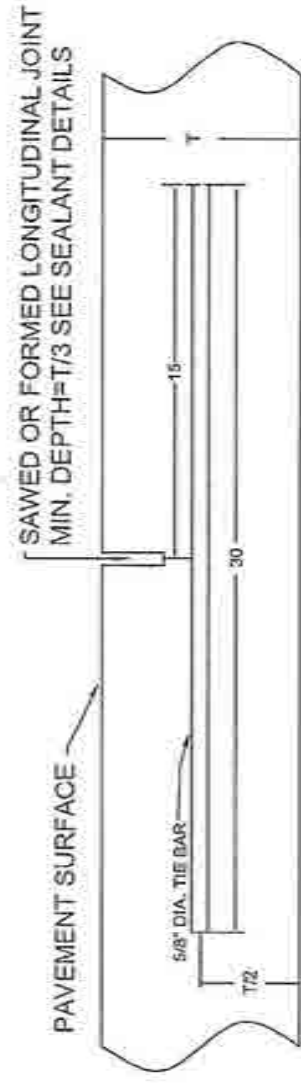
CONTRACTION OR CONSTRUCTION JOINT
TYPE A



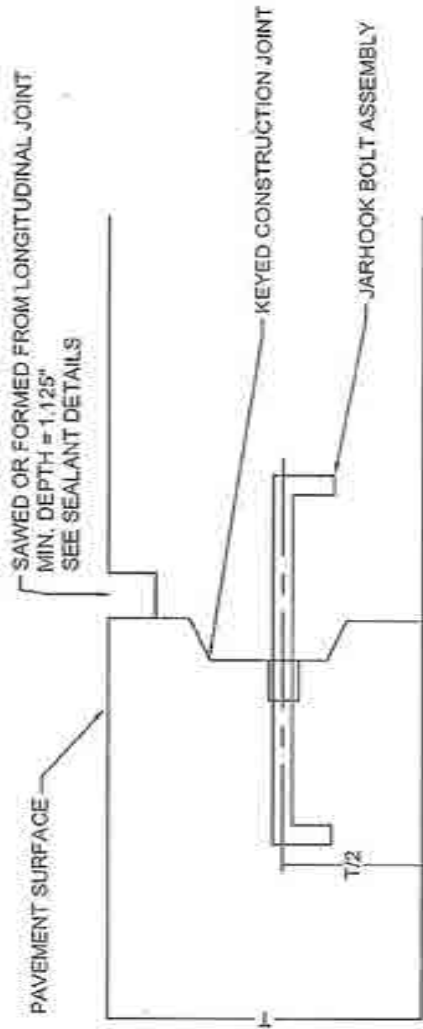
EXPANSION JOINT
TYPE B



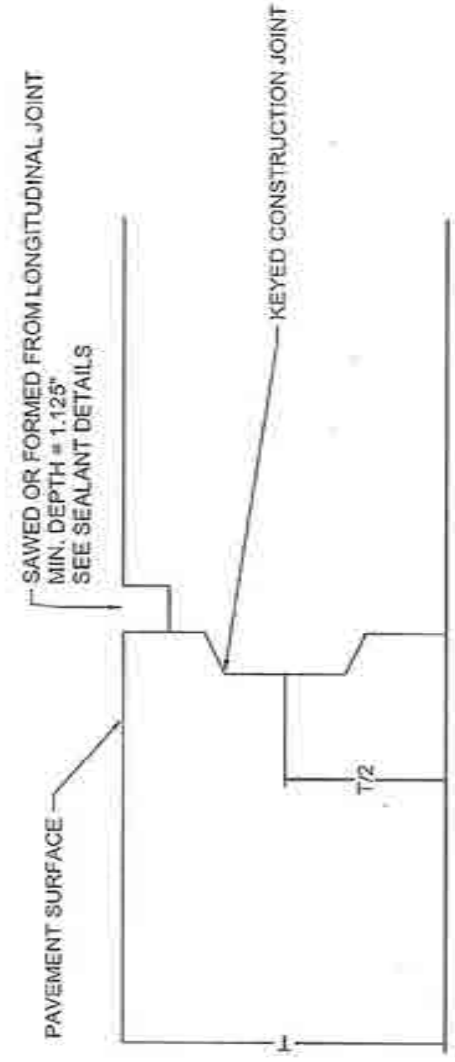
EXPANSION JOINT
(WITHOUT DOWEL BARS)
TYPE C



LONGITUDINAL JOINT
(FULL-WIDTH CONSTRUCTION)
TYPE D



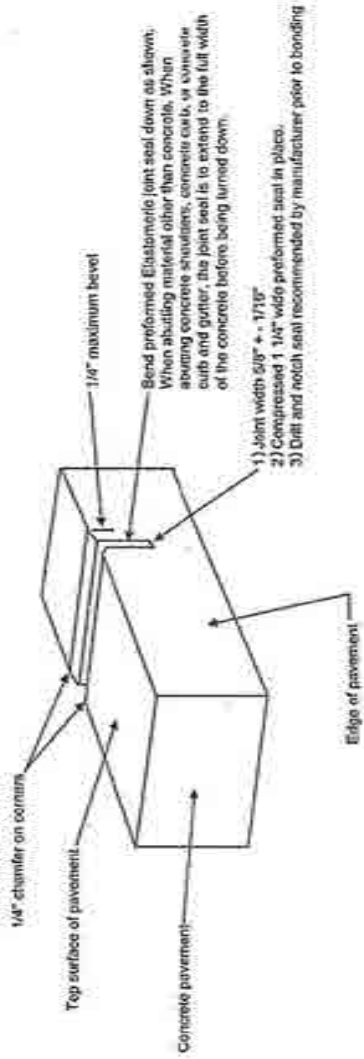
LONGITUDINAL JOINT
(LANE-AT-A-TIME CONSTRUCTION)
TYPE E



KEYED JOINT
TYPE F

Type D Longitudinal Joint may be used as an alternative to Type E Longitudinal Joint for lane-at-a-time construction. When so used, the construction joint between lanes shall be keyed as shown for Type E Joint. Type F Joint is not intended, as an alternative to Type D or E Longitudinal Joints between main-line pavement slabs.

Below is an example of the shape for preformed elastomeric seals used in Type A Joints.



Pavement edge treatment for transverse contraction or construction joint (Type A) when using preformed seals

- e. If the surface is to be asphaltic concrete, one (1) emulsion coat shall be sprayed on the first stone course, and four (4) inches of asphaltic concrete shall be laid and rolled in two (2) courses of two and one-half inches (2-1/2") of base coat and one and one-half inches (1-1/2") of top coat.
- f. The Subdivider is not responsible for maintenance of cement or asphaltic concrete surface once the final inspection has been made and the bond has been released by the Commission on the finished street unless further development activity by the Subdivider causes damage to the surface, in which case the Subdivider will be responsible for acceptable repairs.
- g. The subdivider shall be responsible for utilizing concrete in the pouring of any street or sidewalk that meets the West Virginia Department of Transportation Concrete Mix Design Standards. A certification of standards shall be supplied to the subdivider by the company supplying the concrete, and shall be maintained in the subdivider's records indefinitely. Furthermore, the subdivider shall supply a copy of the report to the Planning Director.

h. The County Compliance Officer shall be notified at least seventy two (72) hours prior to the pouring of any concrete street or sidewalk, so that inspection may be made as to compliance with Section 6 of this ordinance. The concrete pour may be applied only after the County Compliance Officer grants final approval of the base construction.

15. Lots

- a. The size, not less than 7,200 sq. ft., shape and orientation of lots shall be appropriate for the location of the proposed subdivision and for the type of development contemplated.
- b. Every lot shall abut on a street except that in Hillside Subdivisions, in accordance with SECTION 6, paragraph 8 (2) private streets may be utilized.
- c. Side lot lines shall be approximately at right angles to the right-of-way line of the street on which the lot fronts.
- d. Corner lots for residential use shall be platted so as to permit conformance with the setback requirement of any Zoning Ordinance now in effect, or hereafter adopted, on side streets.

16. Driveways

- i. The Subdivider shall install driveway approaches for each connection to the street and when the street is provided with curb and gutter, the Subdivider shall install curb turns on the driveway
- j. Driveways shall be constructed so as not to impede the surface drainage system and where curbs are not required, the Subdivider shall provide one of the following types of improvements:
 - (1) A corrugated metal or concrete pipe at least 12 inches (12") in diameter and sixteen feet (16') in length to be placed for each driveway approach.
 - (2) A properly dipped or swaled concrete pavement sixteen feet (16') in length and six inches (6") thick from edge of pavement to the property line at the entrance of each driveway, designed so as not to create a hazard to the under parts of automobiles.

17. Continuation of Improvements

Where no public body having jurisdiction to provide for maintenance and improvements such as streets, sidewalks, and water and sewer systems exist in the area where the Subdivision is located; the Commission shall require the Subdivider to provide for the continuation and maintenance of improvements

through the formation of a Homeowner's Association, or by other adequate means.

SECTION 7. AMENDMENTS

The regulations, restrictions and boundaries set forth in this Ordinance may, from time to time, be amended, supplemented, changed or repealed, provided however, that no such action may be taken until after a public meeting in relation hereto, at which parties in interest and citizens shall have the opportunity to be heard. A notice of the time and place of such meeting shall be published at least once in a newspaper of general circulation at least fifteen (15) days prior to such meeting.

SECTION 8. PROVISIONS OF ORDINANCE DECLARED TO BE MINIMUM REQUIREMENTS

In their interpretation and application, the provisions of this Ordinance shall be held to be minimum requirements, adopted for the promotion of the public health, safety, morals or general welfare. Wherever the requirements of this Ordinance are at variance with the requirements of any other lawfully adopted rules, regulations, ordinances, deed restrictions or covenants, the most restrictive, or that imposing the higher standards, shall govern.

SECTION 9. ENFORCEMENT. VIOLATIONS

Complaints. Whenever a violation of this Ordinance occurs or is alleged to have occurred, any persons may file a written complaint with the Secretary of the Planning Commission. Such complaint shall state fully the causes and basis thereof. The Commission shall record properly such complaint, immediately investigate and take action if warranted, as provided by this Ordinance.

Enforcement. Enforcement of these Regulations shall be the responsibility of the County Compliance Officer, who shall make an initial interpretation that a violation occurred. The County Compliance Officer shall prepare a written Violation Notice and Directive To Comply and/or Cease and Desist and shall transmit such notice to the party or parties responsible for the violation. This notice shall give the party or parties responsible thirty (30) days in which to comply with the terms of the written Notice and Directive, or to appeal the Notice and Directive in writing to the Planning Commission, which shall hear the case de novo. The party charged with the violation may appeal the decision of the Planning Commission to the County Commission, and assert such rights and appeals as otherwise allowed by law. If the case is not heard by the Planning Commission within sixty (60) days after the request for appeal is received, the

complaint shall be dismissed. Nothing herein shall prevent a complaint from being refilled with the Commission. Failure to comply with the written Notice and Directive shall be cause for the Planning Commission to declare a violation of these Regulations against the party or parties responsible. Upon such declaration, the Planning Commission shall instruct the County Compliance Officer to request the assistance of the County Prosecuting Attorney and:

- a. Seek an injunction in the Circuit Court of Wood County to restrain the responsible parties from continuing the violation or to order them to comply with the requirements of these Regulations.
- AND/OR**
- b. Proceed by criminal warrant or information against the party or parties in violation.

VIOLATION. It shall be unlawful for any person, whether an owner or tenant of any building, structure, premises, or part thereof, or any architect, builder, contractor, agent or other persons to commit, participate in, assist or allow a violation of any provision of these Regulations.

PENALTIES. Violations of the provisions of this Ordinance, or failure to comply with any of its requirements, shall constitute a misdemeanor. Any person who violates this Ordinance or fails to comply with any of its requirements shall, upon conviction thereof, be fined up to three hundred dollars (\$300.00), and in addition, shall pay all costs and expenses involved in the case. Each day such violation continues shall be considered a separate offense.

Nothing herein contained shall prevent the Wood County Planning Commission, the Wood County Commission or any other persons or corporation from taking such other lawful action as is necessary to prevent ant violation.

SECTION 10. SEPARABILITY CLAUSE

Should any section or provision of this Ordinance be declared to be unconstitutional or invalid, such decision shall not affect the validity of the Ordinance as a whole, or any part thereof, other than the part so declared to be unconstitutional or invalid.

SECTION 11. REPEAL OF CONFLICTING ORDINANCE

All ordinances or parts of ordinances in conflict with these Regulations or inconsistent with the provisions of this Ordinance are hereby repealed to the extent necessary to give this Ordinance full force and effect.

APPENDIX A

GENERAL PRINCIPLES OF DESIGN AND MINIMUM REQUIREMENTS FOR THE LAYOUT OF SUBDIVISIONS

In laying out a subdivision, the Subdivider shall comply with the following general principles and requirements:

SECTION A. GENERAL

1. The layout shall conform to the official Thoroughfare Plan and other parts of the adopted Comprehensive Plan of Wood County.
 - (a) Whenever a tract to be subdivided embraces any part of a highway primary or secondary thoroughfare or parkway, so designated on said Thoroughfare Plan, such part of such public way shall be platted by the Subdivider in the location and at the width indicated on said Plan.
 - (b) Where a proposed park, playground, or other recreational are, proposed school site or other public ground, under the adopted Comprehensive Plan of Wood County, is located in whole or in part, if not dedicated to the County or the Wood County Board of Education, shall be reserved for a period of not less than three (3) years from the date of final approval of the Final Plat by the Commission, for acquisition by the County or Board of Education by purchases or otherwise.
2. Where held appropriate by the Commission, open spaces suitably located and of adequate size for parks, playgrounds, or other recreational purposes for local or neighborhood use shall be provided for in the proposed subdivision, and if not dedicated to the public, shall be reserved for the common use of all property owners in the proposed subdivision by covenant in the deeds.

SECTION B. THE STREET AND BLOCK LAYOUT

1. Flatland Subdivisions – The following requirements are applicable to all Flatland Subdivisions within the jurisdiction of the Commission.

- (a) The street layout shall be in general conformity with a plat for the most advantageous development of adjoining areas and the entire neighborhood.
- (b) The street layout shall provide access to all lots and parcels of land within the subdivision.
- (c) Where appropriate to the design, streets shall be established to avoid jogs at intersections and to promote continuity of local streets and those of higher classification.
- (d) Streets shall be established to take advantage of the contour of the land so as to produce usable lots, cause a minimum of cutting and filling, and to produce streets with reasonable grades as defined in SECTION E. (1).
- (e) Certain proposed streets, where appropriate, shall be extended to the boundary line of the tract to provide for adequate circulation of traffic within the vicinity.
- (f) Streets shall intersect other streets as near to a 90-degree angle as topography and other factors permit. Intersections of streets with arterial or collector streets shall be limited to a minimum angle of 70 degrees unless specifically approved by the Commission.
- (g) Whenever there exists a dedicated or platted portion of a street or alley adjacent to the proposed subdivision which conforms to the Thoroughfare Plan, the remainder of the street or alley shall be platted to the prescribed width within the proposed subdivision.
- (h) Street and right-of-way widths shall conform to those indicated in the Thoroughfare Plan. Where such widths are not prescribed therein, the widths shall not be less than the minimums stated in SECTION 6.
- (i) Alleys shall be platted (1) in the rear of all lots to be used for business; (2) in the rear of residential lots fronting on arterial or collector streets as a means of safe access thereto. Alleys will not be approved in other locations in residential areas, unless required by unusual topography or other exceptional conditions.
- (j) Lands abutting arterial or collector streets shall be platted with the view of making the lots, if for residential use, desirable for such use by cushioning the impact of heavy traffic on such traffic ways; and with the view also of minimizing interference with traffic on such traffic ways as well as the accident hazard. This may be accomplished in several ways:

- (1) By platting the lots abutting such traffic ways at very generous depth, with set-backs or front yards at least ten (10) feet greater or deeper than otherwise required; and providing vehicular access to them by means of either alleys or service drives in the rear, or frontage access roads next to the traffic ways, connected therewith at infrequent intervals;
 - (2) By not fronting the lots on the highway or thoroughfare, but on a parallel local street at a distance of a generous lot depth, in which case private driveways shall connect with such local street;
 - (3) By a collector street platted more or less parallel with the highway or thoroughfare, six hundred (600) feet to one thousand (1,000) feet distance there from, from which loop streets or dead-end streets would extend toward the highway the ends of which provide access to the lots abutting the highway to their rear.
- (k) Blocks shall have sufficient width to provide for two (2) tiers of lots of appropriate depth, unless, in the opinion of the Commission, prevented by unusual topography or other physical conditions.
 - (l) The length of blocks shall be such as are appropriate, in the opinion of the Commission, for the locality and type development contemplated, but shall not exceed eighteen hundred (1,800) feet where the average lot size does not exceed two (2) acres in area.
 - (m) In any block over nine hundred (900) feet in length, the Commission may require that a crosswalk or pedestrian way, not less than ten (10) feet wide, be provided near the center and entirely across the block.
 - (n) The number of intersecting streets along arterial and collector streets shall be held to a minimum, and where practicable, blocks along such traffic ways shall not be less than twelve hundred (1,200) feet in length.
- (2) Hillside Subdivisions – The following requirements are applicable to all Hillside Subdivisions within the jurisdiction of the Commission.
 - (a) The following requirements of SECTION B. (1) of Appendix A for Flatland Subdivisions: B (1)a, B (1)e, B (1)f, B (1)g, B (1)n.
 - (b) The Commission may, at its discretion, modify the following requirements of SECTION B. (1) of Appendix A for Flatland Subdivisions where they are to be applied to Hillside Subdivisions: B (1)b, B (1)i, B (1)j, B (1)k, B (1)l, B (1)m.

SECTION C. STREET TREES, SCREEN PLANTING AND REPLACEMENT OF NATURAL GROUND COVER

The following requirements are applicable to both Hillside and Flatland Subdivisions except where noted otherwise.

- (a) Any trees or shrubs proposed to be installed on the street right-of-way by the Subdivider or Developer shall be approved by the Commission as to types and placement.
- (b) The installation of trees, shrubs, or fencing to form a tight screen effective at all times shall be required along the rear line of any lot in the Subdivision with back upon arterial, collector, or secondary street.
- (c) In a Hillside Subdivision, the natural ground cover shall not be disturbed except for the grading of those portions of the lot for building sites and for the installation of necessary improvements including earth cuts and fills. The removal of additional natural ground cover under other circumstances may be permitted by the Commission when necessary to the successful development of the Subdivision. In order that erosion caused from the removal of such additional natural ground cover shall be prevented, the Subdivider shall agree to any replacement of any additional natural ground cover prior to final approval of the Subdivision; such replacement to be as directed by the Commission relative to the method of installation and to type.
- (d) No changes shall be made in the contour of the land, no grading, excavating, removal or destruction of the top soil, trees or other vegetative cover of the land shall be commenced until such time that a plan for minimizing soil erosion and sedimentation has been processed with and reviewed by the Wood County Planning Commission and the Soil Conservation Service, or there has been a determination by the Commission that such plans are not necessary.

SECTION D. PERFORMANCE PRINCIPLES

The following measures are effective in minimizing erosion and sedimentation and shall be included where applicable in the Construction Sediment Control Plan.

- (a) Stripping of vegetation, regarding or other development shall be done in such a way that will minimize erosion.
- (b) Development plans shall preserve salient natural features, keep cut-fill operations to a minimum, and ensure conformity with topography so as to

create the least erosion potential and adequately handle the volume and velocity of surface water runoff.

- (c) Whenever feasible, natural vegetation shall be retained, protected and supplemented.
- (d) No changes shall be made in the contour of the land, no grading, excavating, removal or destruction of the top soil, trees or other vegetative cover of the land shall be commenced until such time that a Construction Sediment Control Plan has been prepared for that specific site or development. This plan must be reviewed and approved by the Little Kanawha Soil Conservation District.
- (e) The disturbed soils shall be stabilized as quickly as possible, not to exceed twenty-one (21) days.
- (f) Temporary vegetation and/or mulching shall be used to protect exposed critical areas during development.
- (g) The permanent final vegetation and structural erosion control and drainage measures shall be installed as soon as practical in the development.
- (h) Provisions shall be made to effectively accommodate the increased runoff caused by changed soil and surface conditions during and after development. Where necessary, the rate of surface runoff will be structurally retarded.
- (i) Sediment in the runoff water shall be trapped until the disturbed area is stabilized. Use of sediment basins, silt traps, or other approved measures may be required.

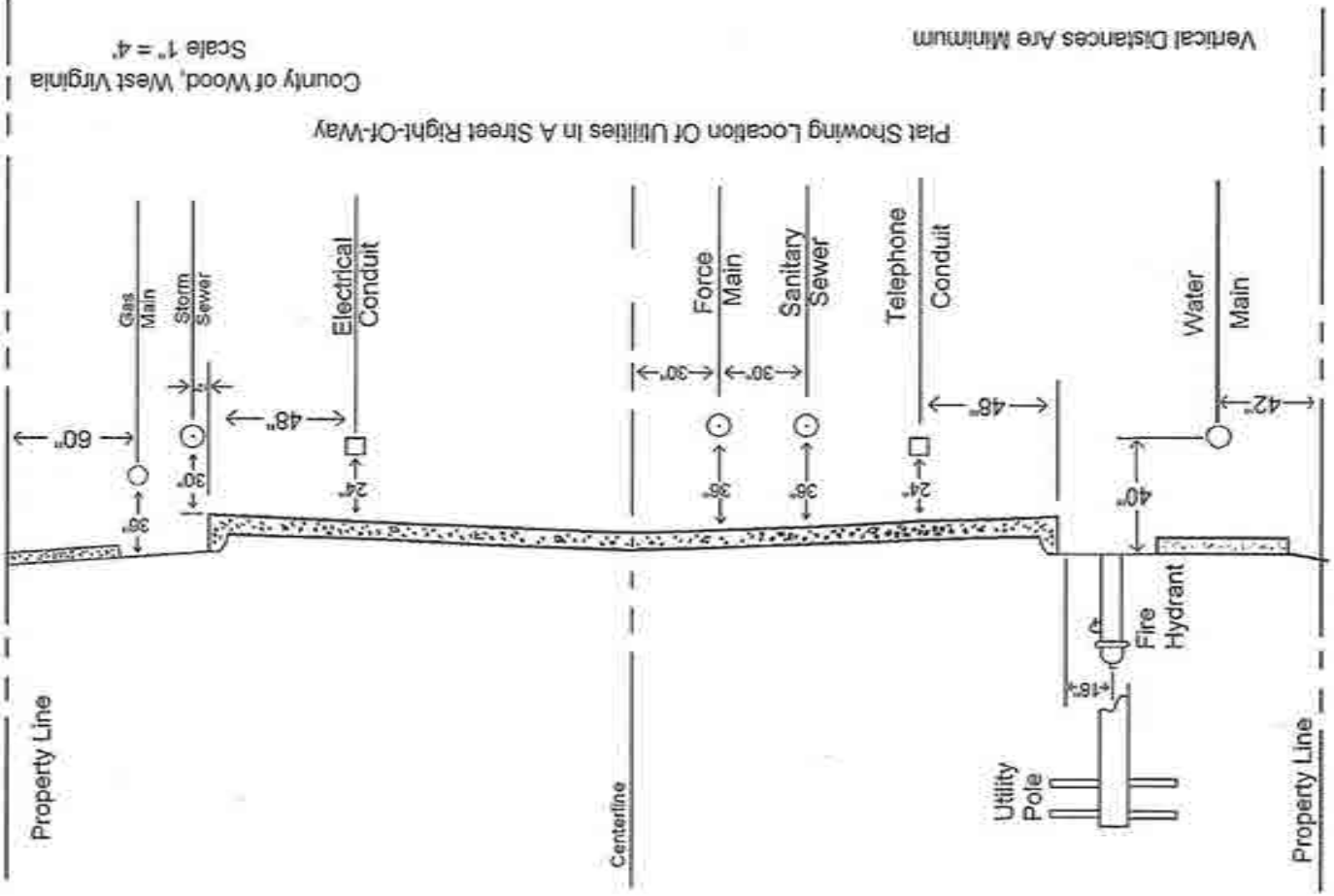
SECTION E. GRADING FOR DRAINAGE

In order to provide more suitable sites for building and other uses, improve surface drainage, and control erosion, the following requirements shall be met.

- (a) The location, grading and placement of sub-grade (base) material of all roads, streets and parking areas shall be accomplished as the first work done on a Subdivision or Development. The wearing surface may be placed at the discretion of the Subdivider as approved on or in the final plat and/or plan.
- (b) All lots, tracts, or parcels shall be graded to provide proper drainage away from buildings and dispose of it without ponding and all land within a

development shall be graded to drain and dispose of surface water without ponding, except where approved by the Wood County Planning Commission.

- (c) All drainage provisions shall be of such design to adequately handle the surface runoff and carry it to the nearest suitable outlet such as a curbed street, storm drain, or natural watercourse. Where drainage swales are used to divert surface waters away from buildings, they shall be sodded or planted as required and shall be of such slope, shape and size as to conform with the requirements of the Commission.



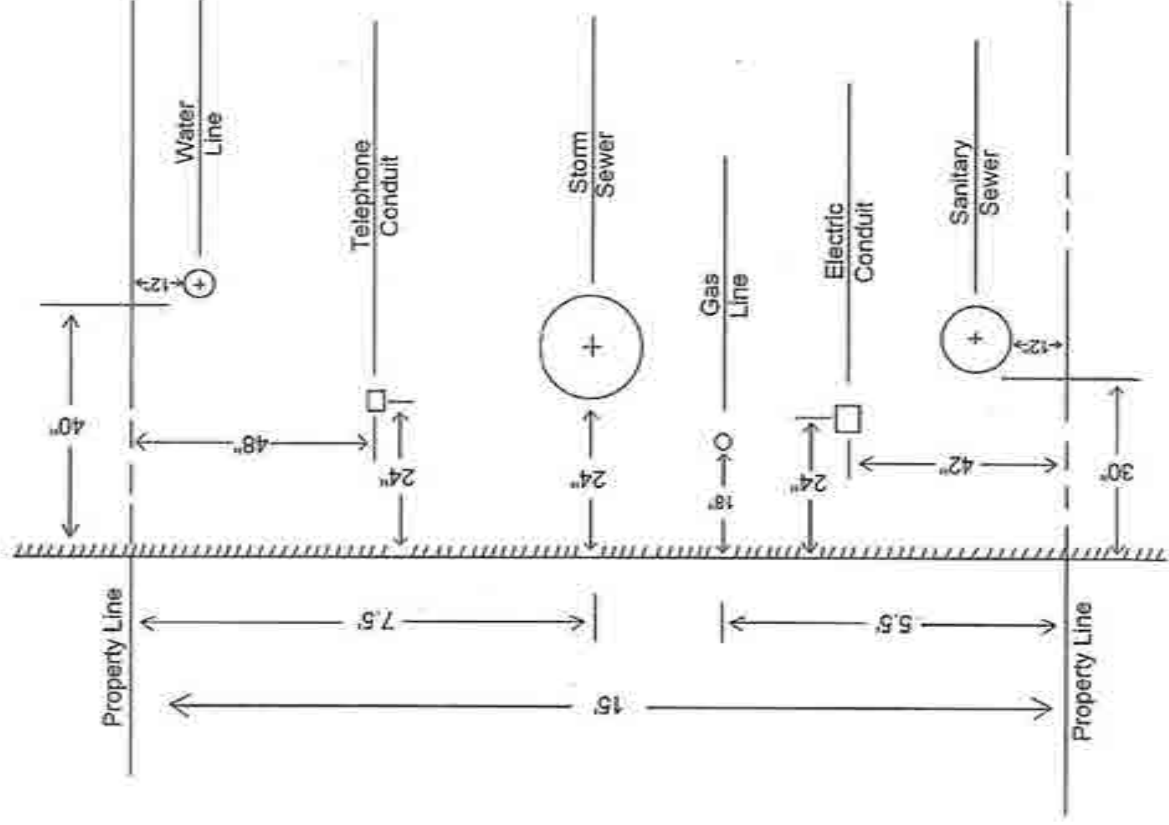
Plat Showing Location Of Utilities In A Street Right-Of-Way

County of Wood, West Virginia
 Scale 1" = 4'

Vertical Distances Are Minimum

County of Wood, West Virginia
 Scale - 1" = 2'

Plat Showing Location of Utilities In A 15' Easement



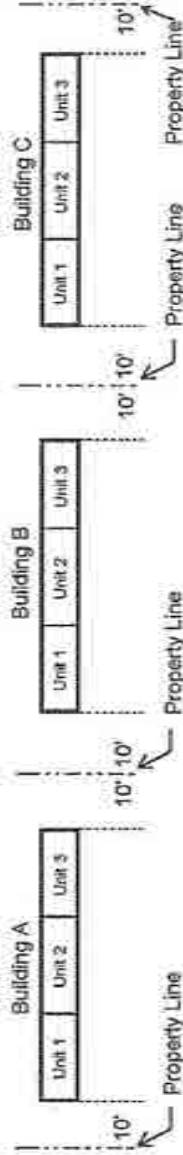
Vertical Distances Are Minimum

TOWNHOUSE SUBDIVISION

Definitions:

Townhouse subdivision shall mean the division of a parcel or tract of land for family dwellings where each unit has its own front yard and rear access and which is in a row of at least three units. Each dwelling unit and all or a portion of the land area is individually owned. The purpose of the townhouse project is to retain the qualities of home ownership and at the same time provide for the attractive qualities of apartment living including higher density, efficiency, convenience, economy, and effectively designed and maintained open space. Townhouse projects contain one (1) or more townhouse buildings, each of which contain three (3) or more townhouse units. Parking lots, driveways, walkways, and accessory recreation areas may be located in areas retained in common ownership which are owned jointly by the owners of the townhouse units.

Townhouse units shall mean self-contained dwellings which are designed and constructed so that the unit and the lot on which it is located may be individually owned. Townhouse units are separated by fireproof and soundproof walls and are designed to provide privacy. An **end unit** has only one common wall with an adjacent unit in the townhouse building; the other three exterior walls are not common with any other unit.



End units are: Building A – Units 1 & 3; Building B – Units 1 & 3; Building C – Units 1 & 3

1. Site and building design may include, but not limited to the following development standards:
 - a. Utilities
 1. Each unit shall have a separate sewer service hookup.
 2. Each unit shall have a separate water service hookup and shutoff.
 3. Each unit shall have a separate gas service where gas is a necessary utility.
 4. Each unit shall have a separate electrical service with separate meters and disconnects and ground fault interrupters where and as required by NEC (National Electrical Code).

- b. Each unit shall have a one-hour fire separation on its floor and on each wall common to itself and an adjacent unit including attic space.
2. The following standards shall apply to townhouse subdivisions:
- a. Applicants shall submit a detailed site plan drawn to scale indicating the location of the proposed townhouse units and any existing or proposed structures on any adjacent lot. **The building envelope shall be shown on the final site plan and final recorded plat with minimum setbacks shown.**
 - b. The plat must clearly indicate that the subdivision is a townhouse subdivision.
 - c. Townhouse subdivisions may be utilized with new subdivisions (subdivisions for which the preliminary subdivision plans received approval by the Wood County Planning Commission on or subsequent to the date of the adoption of this ordinance update) provided that such request is made during the preliminary subdivision plan stage and the plat is clearly identified, or within existing subdivisions subsequent to a re-plat indicating the location of townhouse units.
 - d. All townhouse properties shall be platted in accordance with the site development regulations with the lots a minimum of one thousand, eight hundred (1,800) square feet per dwelling.
 - i. Minimum lot width: Twenty feet (20').
 - ii. Minimum lot depth: One hundred ten feet (110').
 - iii. Minimum front yard: Twenty-five feet (25'); fifteen feet (15') for rear entry driveway.
 - iv. Minimum rear yard: Twenty feet (20') for primary structure; fifteen feet (15') from the easement centerline for rear entry garage accessed from an alley.
 - v. Minimum side yard: zero feet (0') ; ten feet (10') for end units.
 - vi. Maximum building height: forty feet (40') or three (3) stories.
 - vii. Minimum floor area: seven hundred fifty feet (750') per dwelling unit.
 - viii. Maximum lot coverage: sixty-five percent (65%). (The area of a front porch is not included in the calculation of lot coverage).

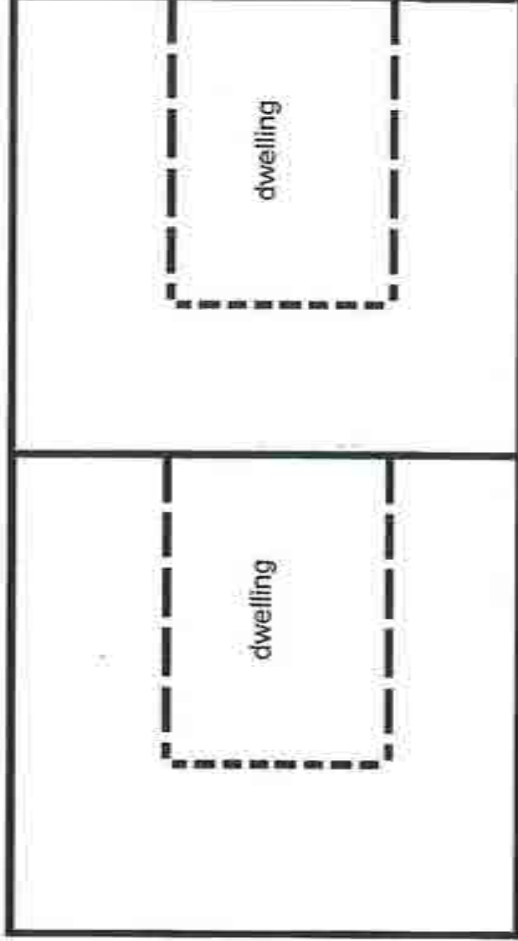
- e. Townhouses shall have a first floor front elevation with a minimum of eighteen inches (18") above the finished sidewalk grade.
- f. Each unit must provide two (2) off-street parking spaces excluding the garage. These spaces must not interfere with or overlap any access to a public sidewalk.

ZERO LOT LINE SUBDIVISION

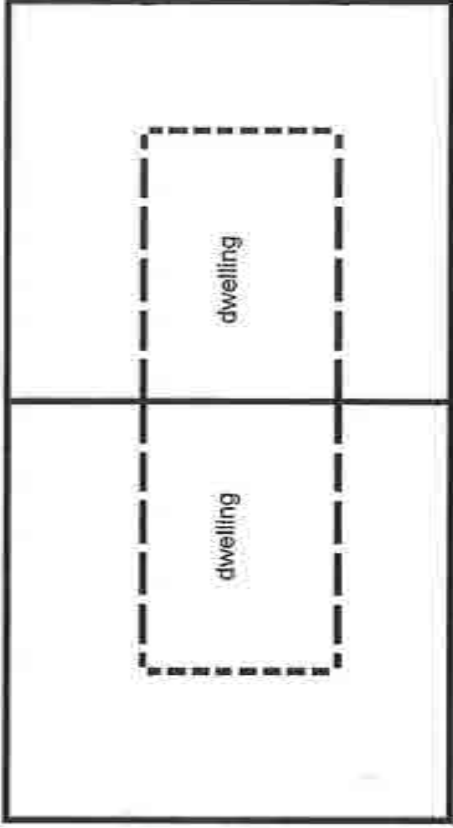
Definition:

Zero lot line shall mean the location of a building on a lot in such a manner that one (1) or more of the building's sides rests directly on the property line.

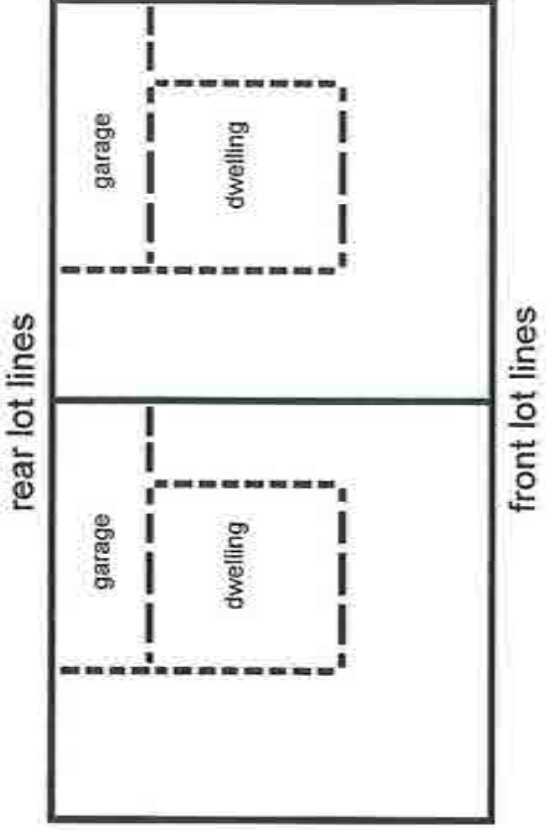
1. Site and building design may include, but not be limited to the following concepts:
 - a. **Zero lot line development.** This type of development is characterized by the location of a dwelling unit in such a manner that one or more of the building's sides rests directly on the side lot line.



- b. **Interlocking lot.** In this case, the location of the dwelling unit is such that the side and rear walls of the garage both rest directly on the lot line. No other exterior walls of the dwelling unit shall have a zero setback. This concept can be used with a zipper lot (z-lot) design or on a standard lot in which the garages of the abutting lots are connected at the side and the rear while the living areas of the dwelling units are set back from the property lines.



- c. **Z-lot.** The lot design is modified to create a Z shape which allows such a dwelling unit to have alternating side yards. This may be employed as a standard z-lot or as an angled z-lot.



2. When these or other flexible housing designs are used with any type of zero lot line concept, all the following standards shall apply:
 - a. Applicants shall submit a detailed site plan drawn to scale indicating the location of the proposed zero lot line dwelling unit and any existing or proposed structures on any adjacent lot. **The building envelope shall be shown on the final site plan and final plat with minimum setbacks shown.**
 - b. The zero lot side yard shall be developed on a multi-parcel basis. The zero lot side yard may be utilized with new subdivisions (subdivisions for which the preliminary subdivision plans received approval by the Wood County Planning Commission on or subsequent to the date of the adoption of this ordinance update) provided that such request is made during the preliminary subdivision plan stage and the zero lot side yard lots are clearly identified, or within existing subdivisions subsequent to a re-plot indicating the location of zero lot side yards.
 - c. Zero lot lines, as defined in this ordinance, shall not be permitted upon any lot line which constitutes an exterior boundary of the subdivision. There shall be required a setback of not less than five feet (5') for any building from a lot line which constitutes an exterior boundary line of the subdivision.
 - d. All zero lot single family detached properties shall be platted in accordance with the site development regulations with the lots a minimum of four thousand five hundred (4,500) square feet.
 - i. Minimum lot width : Forty feet (40') for single family detached dwelling units.
 - ii. Minimum lot depth: One hundred ten feet (110').
 - e. All structures shall have a required front setback of twenty-five feet (25') (if there is a front porch, the front porch shall have a twenty-five foot (25') setback) and a required rear setback of ten feet (10') .
 - f. Each unit must provide two (2) off-street parking spaces excluding the garage. These spaces must not interfere or overlap any access to a public sidewalk.
 - g. Side setbacks shall be none (zero) on one side lot line and a minimum of fifteen feet (15') on the opposite side of the lot.
 - h. The wall of any dwelling unit located on a zero lot line shall be constructed without doors.

- i. A maintenance easement of five feet (5') shall be designated on all lot lines adjacent to the zero lot line boundary, which shall ensure ready access to the lot line wall a reasonable periods of the day for normal maintenance. This easement shall be recorded on the adjacent lot or parcel along the length of the zero side yard lot line.
- j. No portion of the dwelling unit shall project over, above, or under any property line, except for the eaves of the roof, window sills, and similar minor appurtenances, with a maximum encroachment of two feet (2').
- k. Gutters shall be designed so as not to flow onto the adjacent zero lot line lot or parcel.
- l. Windows and doors shall not be permitted in the side of the structure adjacent to the zero lot line, except as may be required by building, fire or live safety codes.
- m. The minimum separation between the zero lot side yard dwelling unit and any structure on the adjacent lot or parcel shall be equal to or greater than the sum of both minimum side yard setbacks for residential building.
- 3. When a subdivision incorporates zero lot lines, the road right-of-way is to be modified. The requirement for zero lot line subdivisions is as follows:

Street Requirements – Right-of-Way

- b. Local streets. All local streets should be uniform, that is fifty feet (50').

All other street requirements are the same as for standard subdivisions.

I, MARK RHODES, do hereby CERTIFY that the Document with this stamp affixed is a true copy of Order County Comm.

recorded in this office 05/14/2015

Book 33 Page 457

Date 05/14/2015

Mark Rhodes Deputy Clerk

MARK RHODES, WOOD COUNTY CLERK

Mark Rhodes
 Wood County 10:49:46 AM
 Instrument No B644670
 Date Recorded 05/14/2015
 Document Type NOTICE
 Pages Recorded 48
 Book-Page 1229-810

5/4/15
7/1/54

MAY 4, 2014

IN THE COUNTY COMMISSION OF WOOD COUNTY, WEST VIRGINIA

IN RE: THE COUNTY COMMISSION AUTHORIZED THE ADOPTION
OF AN ORDINANCE INCREASING THE E-911 LANDLINE FEE.

ORDER

On this date, the County Commission of Wood County, upon a motion made by David Blair Couch, seconded by Robert K. Tebay, and made unanimous by Stephen Gainer, following a public hearing at 10:00 o'clock A.M. in Room 203 of the Wood County Courthouse which was publicly advertised in The Parkersburg News and Sentinel on April 7, 2015 and April 14, 2015, did hereby AUTHORIZE the adoption of an ordinance increasing the Wood County E-911 landline fees.


A copy of said ORDINANCE is attached to this Order and should be made a part thereof.

APPROVED:

THE COUNTY COMMISSION OF WOOD COUNTY


Stephen Gainer, President


David Blair Couch, Commissioner


Robert K. Tebay, Commissioner

M/3100-A

Referred to: County Administrator

5/4/15
7/1/14

E911 Information

Wood County

Commission

Wood County,

West Virginia

Amended Ordinance for Wood County, WV raising the E911 landline
fee from \$1.75 to \$2.50 in 2015 and to \$3.25 in 2016

An ordinance of Wood County providing for an amendment to the original proposal for an enhanced emergency telephone system for holding of a public meeting and for placement of an advertisement notifying the public of such meeting and of the location at which a copy of proposal may be examined.

WHEREAS, section three-cc, article one, chapter seven (7-1-3-cc) of the West Virginia code grants the authority to county commissions to establish an enhanced emergency telephone system and impose a fee of the capital, installation and maintenance costs thereof;

WHEREAS, 24-6-6 of the West Virginia Code states the emergency telephone system plan may be amended after notice of the proposed amendments is given and a public meeting is held.

Now therefore be it ordained by the County Commission of Wood County, West Virginia pursuant to and in accordance with 24-6-6 of the West Virginia Code, the following:

Wood County proposes to amend land line rates from the current rate of \$1.75 per line to \$2.50 per line effective July 1, 2015 and to \$3.25 effective July 1, 2016

That a copy of the proposal attached hereto be made available for examination by the public at the Wood County Courthouse.

That a public meeting be scheduled to be held at the Wood County Courthouse on April 27, 2015 at 10:00 AM in order to receive comments from other public officials and interested persons.

Section 1-Definitions

As used in this plan, unless the context clearly requires a different meaning:

- (a) "Answering point" means a facility to which enhanced emergency telephone system calls for a county are initially routed for response, and where county personnel respond to specific requests for emergency service by directly dispatching the appropriate emergency service provider, relaying a message to the appropriate provider or transferring the call to the appropriate provider.
- (b) "County Commission" means the County Commission of Wood County, West Virginia.
- (c) "County" means Wood County, West Virginia.
- (d) "Emergency service provider" means any emergency services organization or public safety unit.
- (e) "Enhanced emergency telephone system" means a telephone system which automatically connects the person dialing the primary emergency number to the county answering point and in which the telephone network system automatically provides the personnel receiving the call, immediately on answering the call, information on the location and the telephone number from which the call is being made, and upon direction from the personnel receiving the call

routes or dispatches such call be telephone, radio or any other appropriate means of communication to emergency service providers that serve the location from which the call is made.

- (f) "Local exchange service line" means the same as defined in the contract(s) attached to this final plan as Appendix A.
- (g) "Telephone company" means a public utility, which is engaged in the provision of telephone service.
- (h) "Wireless Communications." Commercial mobile radio service (CMRS) providers or means cellular licensees, broadband personal communications services (PCS) licensees and specialized mobile radio (SMR) providers, as those terms are defined by the Federal Communications Commission, which offer real-time, two-way switched voice service that is interconnected with the public switched network, and includes resellers of any commercial mobile radio service.

Section 2 - Territory Included in System

- (a) All territory in Wood County, including every municipal corporation in the county, which is served by telephone company central office equipment that will permit an enhanced emergency telephone system to be established, is to be included in the system.
- (b) The municipal corporations included in the system shall include, but not necessarily be limited to, the following:
 1. City of Parkersburg
 2. City of Vienna
 3. City of Williamstown
 4. Town of North Hills
 5. Town of Elizabeth

Section 3 - County Answering Point

- (a) The county answering point shall be operated constantly and shall provide full service, including access for the hearing impaired, 24-hours per day.
- (b) There will be one Multi County Answering Point located at 911 Core Rd., Parkersburg, Wood County, West Virginia.
- (c) All of Wood County and Wirt County will be served by the Answering Point.
- (d) The Answering Point will be required to respond to calls as follows:

Wood County Sheriff's Department	Direct Dispatch
Parkersburg Police Department	Direct Dispatch
West Virginia State Police-Parkersburg Detachment	Call Transfer
Vienna Police Department	Direct Dispatch
Williamstown Police Department	Direct Dispatch
West Virginia DNR (Law Enforcement)	Call Transfer
Parkersburg Fire Department	Direct Dispatch

Blennerhassett Volunteer Fire Department	Direct Dispatch
Deerwalk Volunteer Fire Department	Direct Dispatch
Eastwood Volunteer Fire Department	Direct Dispatch
Lubeck Volunteer Fire Department	Direct Dispatch
Mineral Wells Volunteer Fire Department	Direct Dispatch
Pond Creek Volunteer Fire Department	Direct Dispatch
Vienna Volunteer Fire Department	Direct Dispatch
Washington Bottom Volunteer Fire Department	Direct Dispatch
Waverly Volunteer Fire Company	Direct Dispatch
Williamstown Volunteer Fire Company	Direct Dispatch
Camden Clark Hospital	Direct Dispatch
St. Joseph's Ambulance Service	Direct Dispatch
Wirt County Sheriff Department	Direct Dispatch
Wirt County Volunteer Fire Department	Direct Dispatch
Wirt County Emergency Squad	Direct Dispatch
West Virginia State Police-Elizabeth Detachment	Direct Dispatch

(e) The Multi-County Answering Point shall be connected to the Frontier telephone network by dedicated automatic number identification trunks.

**Section 4 – Emergency Service Providers; Resolution of Disputes; Handling of Misdirected Calls;
Publicly Accessible Telephone Numbers; Enhanced 9-1-1 Communications Advisory Board**

- (a) Every emergency service provider that provides emergency service within the territory of the county will be required to participate in the enhanced emergency telephone system.
- (b) The emergency service providers referred to in subsection (a), above, shall be the following:

Wood County Sheriff's Department	Direct Dispatch
Parkersburg Police Department	Direct Dispatch
West Virginia State Police-Parkersburg Detachment	Call Transfer
Vienna Police Department	Direct Dispatch
Williamstown Police Department	Direct Dispatch
West Virginia DNR (Law Enforcement)	Call Transfer
Parkersburg Fire Department	Direct Dispatch
Blennerhassett Volunteer Fire Department	Direct Dispatch
Deerwalk Volunteer Fire Department	Direct Dispatch
Eastwood Volunteer Fire Department	Direct Dispatch
Lubeck Volunteer Fire Department	Direct Dispatch
Mineral Wells Volunteer Fire Department	Direct Dispatch
Pond Creek Volunteer Fire Department	Direct Dispatch
Vienna Volunteer Fire Department	Direct Dispatch
Washington Bottom Volunteer Fire Department	Direct Dispatch

Waverly Volunteer Fire Company	Direct Dispatch
Williamstown Volunteer Fire Company	Direct Dispatch
Camden Clark Hospital	Direct Dispatch
St. Joseph's Ambulance Service	Direct Dispatch
Wirt County Sheriff's Department	Direct Dispatch
Wirt County Volunteer Fire Department	Direct Dispatch
Wirt County Emergency Squad	Direct Dispatch
West Virginia State Police-Elizabeth Detachment	Direct Dispatch
West Virginia University-Parkersburg Police	Direct Dispatch

- (c) In the event of a dispute between the County and one or more emergency service providers, such dispute, upon application to the Public Service Commission of West Virginia by any party to the dispute, may be resolved by order of the Public Service Commission of West Virginia.
- (d) In the event a call is incorrectly dispatched to an emergency service provider, the provider receiving the call shall either radio the correct provider or advise the PSAP to dispatch the correct provider.
- (e) Each emergency service provider participating in the enhanced emergency telephone system shall maintain a publicly accessible 7-digit telephone number, which shall be appropriately listed in appropriate telephone directories in addition to any telephone numbers provided in the system.

(f) Below is a list of the membership of the Enhanced 9-1-1 Advisory Board.

City of Parkersburg	2 members
City of Vienna	1 member
City of Williamstown	1 member
Wood County Sheriff's Dept.	1 member
Camden Clark Hospital	1 member
West Virginia State Police	1 member
Wood County Fire Fighters Association	1 member
Industry	1 member
General Public	2 members
Media	1 member
Wood County Commission	1 member
Wirt County Commission	1 member

The initial terms of the following memberships shall be one (1) year:

1. Member of the County Sheriff's Department
2. Member of the County Commission

The initial terms of the following memberships shall be two (2) years:

1. Member of the West Virginia State Police
 2. Member of the County Fire & Rescue Association – Fire Representative
- The Director of the Enhanced 9-1-1 system shall serve as ex-officio of the Advisory Board at all times.

Except as noted above for the initial terms of certain memberships and for the Director of Communications, all Advisory Board members shall be appointed by the County Commission to serve for three-year terms or for the balance of the terms of memberships vacated in midterm. The initial terms of all Advisory Board members began on October 1", 1997.

Section 5 - Projection of Revenue

	Current	Projected
911 Monthly Fee	\$1,75	\$2.50
Monthly collected	\$60,273	\$86,104
Total Wireline Fees per year	\$723,276	\$1,033,248

Section 6 - Imposition of Fee; Adoption of Billing Contract; Establishment of Separate Enhanced 9-1-1 Fund; Payment of Costs Not Recovered Through Fee

(a) Pursuant to 7-1-3b of the West Virginia Code a county commission may impose a fee, and may modify that fee, upon consumers of local exchange service within the county for an emergency telephone system. A fee increase of \$.75 to \$2.50 on July 1, 2015 and to \$3.25 in 2016 per land line (standard and centrex) is proposed to maintain the emergency telephone system.

(b) All fees remitted under the contract referred to in subsection (b), above, are proposed to be deposited in a separate revenue line item.

(c) The costs associated with establishing, equipping, furnishing, operating or maintaining the county answering point(s.) above and beyond what the revenue generates by the fee, shall be paid as follows:

1. Wood County

General Fund Section 7

- Telephone Company

(a) Upon adoption of this plan, the terms and conditions of the telecommunications service and facilities provided by the telephone company will be governed by the applicable tariffs on file with and approved by the Public Service Commission of West Virginia, the rules, regulations and orders of the Public Service Commission of West Virginia and the laws of the State of West Virginia.

(b) The telephone company that will provide the services and facilities identified in subsection (a), is as follows:

Frontier Communications

Section 8 - Tariffs, Rules and Regulations, and Laws

The final plan for the County enhanced emergency telephone system will be supplemented and superseded by the applicable tariffs on file with and approved by the Public Service Commission of West Virginia, the rules, regulations and orders of the Public Service Commission of West Virginia, and the laws of the State of West Virginia. Such tariffs, rules, regulations, orders and laws will be deemed incorporated in the final plan as if fully set out therein.

Section 9 - Filing of Plan with the Public Service Commission

Upon completion and adoption of the final plan for the County enhanced emergency telephone system, the County Commission will send a signed copy of such plan to the Public Service Commission of West Virginia.

Given under my hand this 4th day of May, 2015.



Steve Gainer, PRESIDENT
COUNTY COMMISSION OF WOOD
COUNTY WEST VIRGINIA

I, MARK RHODES, do hereby CERTIFY that the Document with this stamp affixed is a true copy of the original as recorded in this office in 1229 Book 1229 Page 838 Date 05/14/2015
Mark O. Rhodes Deputy Clerk
MARK RHODES, WOOD COUNTY CLERK

Mark Rhodes
WOOD County 10:57:20 AM
Instrument No 8644674
Date Recorded 05/14/2015
Document Type NOTICE
Pages Recorded 8
Book-Page 1229-838

Wood County Commission

Erroneous Assessment Application

Tax Type: Personal Property

Tax Ticket: 400548 ✓

Tax Year: 2014 ✓

5/4/15
7/1/15

Upon the application of **BURDETTE MOTORS** whose address is **661 7TH ST PARKERSBURG, WV 26101-** aggrieved by an erroneous assessment in **PARKERSBURG District (05)**, in the County of Wood, for the **2014** tax year.

The County Commission therefore, orders that the said applicant be and hereby exonerated from the said erroneous assessment and from the payment of the taxes so assessed in and for the **2014** tax year.

If the taxes have been paid the Sheriff shall refund the same to them; or if more than a year from the time the property books were delivered to the Sheriff for the the affected tax year, the Sheriff shall allow a credit on future taxes payable.

DUE TO A CLERICAL ERROR BURDETTE MOTORS WAS ESTIMATED WHEN IN FACT THEY HAD A TICKET UNDER PAUL BURDETTE. SEE ATTACHED.

All of which is ordered to be certified to the Auditor of the State of West Virginia and the Sheriff of WOOD County

Date	Transaction Type	Class	Amount	Tax Rate	Tax Class	Net Value
07/01/2014	BILLING	4	475.76	2.936800	4	16,200 ✓
09/26/2014	PENDING EXONERATION	4	-475.76	2.936800	4	-16,200
Adjusted Net Taxes				Adjusted Net Value		0

Paul Burdette
Taxpayer

[Signature]
Prosecutor

Rich Syph
Assessor

[Signature]
Commissioner

County Commission President

Commissioner

At a regular session of the County Commission of Wood County, West Virginia, held at the Courthouse of said County, The County Commission did approve this exoneration on May 4, 2015

RECEIVED
APR 15 2015
County Auditor

By: Jaime Wolfe

Wood County Commission

Erroneous Assessment Application

Tax Type: Personal Property

Tax Ticket: 423294 ✓

Tax Year: 2014 ✓

S/4/15

7/1/51

Upon the application of NATIONAL CARPORTS whose address is 201 AYERS BLVD BELPRE, OH 45714-aggrieved by an erroneous assessment in PARKERSBURG DISTRICT (04) ; in the County of Wood, for the 2014 tax year.

The County Commission therefore, orders that the said applicant be and hereby exonerated from the said erroneous assessment and from the payment of the taxes so assessed in and for the 2014 tax year.

If the taxes have been paid the Sheriff shall refund the same to them; or if more than a year from the time the property books were delivered to the Sheriff for the the affected tax year, the Sheriff shall allow a credit on future taxes payable.

Mobile Home was reported on Riverview Contracting LTD (National Carports) business personal property form, and is being taxed on ticket #402029.

All of which is ordered to be certified to the Auditor of the State of West Virginia and the Sheriff of WOOD County

Date	Transaction Type	Class	Amount	Tax Rate	Tax Class	Net Value
07/01/2014	BILLING	3	121.22	2.210400	3	5,484
03/31/2015	PENDING EXONERATION	3	-121.22	2.210400	3	-5,484
Adjusted Net Taxes					Adjusted Net Value	0

AD Will over
Taxpayer

[Signature]
Prosecutor

Rich Jefferson
Assessor

[Signature]
Commissioner

[Signature]
County Commission President

[Signature]
Commissioner

At a regular session of the County Commission of Wood County, West Virginia, held at the Courthouse of said County, The County Commission did approve this exoneration on May 4, 2015

RECEIVED

APR 13 2015



County Administrator

Wood County Commission

Erroneous Assessment Application

Tax Type: Personal Property

Tax Ticket: 902067

Tax Year: 2013

5/4/15
7/1/15

Upon the application of RIVERVIEW CONTRACTING whose address is 1205 GRAND CENTRAL AVE VIENNA, WV 26105- aggrieved by an erroneous assessment in VIENNA District (10) , in the County of Wood, for the 2013 tax year.

The County Commission therefore, orders that the said applicant be and hereby exonerated from the said erroneous assessment and from the payment of the taxes so assessed in and for the 2013 tax year.

If the taxes have been paid the Sheriff shall refund the same to them; or if more than a year from the time the property books were delivered to the Sheriff for the the affected tax year, the Sheriff shall allow a credit on future taxes payable.

DUE TO A CLERICAL ERROR THIS TAXPAYER WAS PLACED IN VIENNA DISTRICT WHEN IN FACT THEY ARE LOCATED IN PARKERSBURG DISTRICT. SEE ATTACHED.

All of which is ordered to be certified to the Auditor of the State of West Virginia and the Sheriff of WOOD County

Date	Transaction Type	Class	Amount	Tax Rate	Tax Class	Net Value
07/01/2013	BILLING	4	222.20	2.927100	4	7,591
04/01/2015	PENDING EXONERATION	4	-54.96	2.927100	4	0
Adjusted Net Taxes				Adjusted Net Value		7,591

RD Wolfe
Taxpayer

Phone # 740-423-4272

[Signature]
Prosecutor

[Signature]
Assessor

Commissioner

[Signature]
County Commission President

Commissioner

At a regular session of the County Commission of Wood County, West Virginia, held at the Courthouse of said County, The County Commission did approve this exoneration on *May 4, 2015*

RECEIVED

APR 13 2015

County Administrator

Wood County Commission

Erroneous Assessment Application

Tax Type: Personal Property

Tax Ticket: 402029 /

Tax Year: 2014 /

5/4/15
7/15/

Upon the application of RIVERVIEW CONTRACTING LTD whose address is 1205 GRAND CENTRAL AVE VIENNA, WV 26105- aggrieved by an erroneous assessment in VIENNA District (10) , in the County of Wood, for the 2014 tax year.

The County Commission therefore, orders that the said applicant be and hereby exonerated from the said erroneous assessment and from the payment of the taxes so assessed in and for the 2014 tax year.

If the taxes have been paid the Sheriff shall refund the same to them; or if more than a year from the time the property books were delivered to the Sheriff for the the affected tax year, the Sheriff shall allow a credit on future taxes payable.

DUE TO A CLERICAL ERROR THIS TAXPAYER WAS PLACED IN VIENNA DISTRICT WHEN IN FACT THEY ARE LOCATED IN PARKERSBURG DISTRICT. SEE ATTACHED.

All of which is ordered to be certified to the Auditor of the State of West virginia and the Sheriff of WOOD County

Date	Transaction Type	Class	Amount	Tax Rate	Tax Class	Net Value
07/01/2014	BILLING	4	222.42	2.934300	4	7,580
03/31/2015	PENDING EXONERATION	4	-54.88	2.934300	4	0
Adjusted Net Taxes					Adjusted Net Value	7,580

BD Wells
Taxpayer
740-423-4272

[Signature]
Prosecutor
[Signature]
Assessor

[Signature]
County Commission President
[Signature]
Commissioner

At a regular session of the County Commission of Wood County, West Virginia, held at the Courthouse of said County, The County Commission did approve this exoneration on May 4, 2015

RECEIVED
APR 13 2015
County Administrator

By: Jaime Wolfe

Wood County Commission

Erroneous Assessment Application

5/4/15
71/51

Tax Type: Supplemental

Tax Ticket: 80000568 ✓

Tax Year: 2014 /

Upon the application of UHL TERESA A whose address is 1510 1/2 CRESCENT ST PARKERSBURG, WV 26101-6916 aggrieved by an erroneous assessment in PARKERSBURG District (05), in the County of Wood, for the 2014 tax year.

The County Commission therefore, orders that the said applicant be and hereby exonerated from the said erroneous assessment and from the payment of the taxes so assessed in and for the 2014 tax year.

If the taxes have been paid the Sheriff shall refund the same to them; or if more than a year from the time the property books were delivered to the Sheriff for the affected tax year, the Sheriff shall allow a credit on future taxes payable.

DUE TO A TAXPAYER CLERICAL ERROR THE 2004 JEEP WRANGLER WAS REPORTED WHEN IN FACT IT HAD BEEN SOLD PRIOR TO JULY 1, 2013. SEE ATTACHED.

All of which is ordered to be certified to the Auditor of the State of West Virginia and the Sheriff of WOOD County

Date	Transaction Type	Class	Amount	Tax Rate	Tax Class	Net Value
06/25/2014	BILLING	4	114.98	2.936800	4	3,915
04/07/2015	PENDING EXONERATION	4	-114.98	2.936800	4	-3,915
Adjusted Net Taxes				Adjusted Net Value		
						0.00

Teresa A Uhl
Taxpayer 3046158279
Robt J. Thomas
Prosecutor

Robert J. Thomas
County Commission President
Commissioner

Robt J. Thomas
Assessor

At a regular session of the County Commission of Wood County, West Virginia, held at the Courthouse of said County, The County Commission did approve this exoneration on *May 4, 2015*

RECEIVED
APR 07 2015
County Administration

Wood County Commission

Erroneous Assessment Application

Tax Type: Real Estate

Tax Ticket: 32416 ✓

Tax Year: 2013 ✓

Description
TCT 6.4367- AC SLATE CREEK
RD W/PLAT

8/4/15
7/1/15

Upon the application of **DEEM ROGER N** whose address is **4856 SLATE CREEK RD ROCKPORT, WV 26169**- aggrieved by an erroneous assessment in STEELE District (07) Map 250 Parcel 0041001A, in the County of Wood, for the **2013** tax year.

The County Commission therefore, orders that the said applicant be and hereby exonerated from the said erroneous assessment and from the payment of the taxes so assessed in and for the **2013** tax year.

If the taxes have been paid the Sheriff shall refund the same to them; or if more than a year from the time the property books were delivered to the Sheriff for the the affected tax year, the Sheriff shall allow a credit on future taxes payable.

THIS PARCEL DOES NOT EXIST. IT WAS CREATED IN ERROR. IT IS A DUPLICATE WITH PARCEL HI.1A. DELETE PER MAPPING OFFICE.

All of which is ordered to be certified to the Auditor of the State of West Virginia and the Sheriff of WOOD County

Date	Transaction Type	Class	Amount	Tax Rate	Tax Class	Net Value
07/01/2013	BILLING	2	24.46	1.101600	2	2,220
03/31/2015	PENDING EXONERATION	2	-24.46	1.101600	2	-2,220
Adjusted Net Taxes						0
Adjusted Net Value						0

Map 250 Parcel 0041001A

Roger N. Deem
Taxpayer

[Signature]
Prosecutor

[Signature]
Assessor

[Signature]
Commissioner

[Signature]
County Commission President
Commissioner

At a regular session of the County Commission of Wood County, West Virginia, held at the Courthouse of said County, The County Commission did approve this exoneration on May 4, 2015

RECEIVED
APR 06 2015
[Signature]
County Administrator

By: Karen Degraef

Wood County Commission

Erroneous Assessment Application

Tax Type: Real Estate

Tax Ticket: 32463 ✓

Tax Year: 2014 ✓

Description

TCT 6.4367- AC SLATE CREEK
RD W/PLAT

5/4/15
7/1/15

Upon the application of **DEEM ROGER N** whose address is **4856 SLATE CREEK RD ROCKPORT, WV 26169**- aggrieved by an erroneous assessment in STEELE District (07) Map 250 Parcel 0041001A, in the County of Wood, for the **2014** tax year.

The County Commission therefore, orders that the said applicant be and hereby exonerated from the said erroneous assessment and from the payment of the taxes so assessed in and for the **2014** tax year.

If the taxes have been paid the Sheriff shall refund the same to them; or if more than a year from the time the property books were delivered to the Sheriff for the the affected tax year, the Sheriff shall allow a credit on future taxes payable.

THIS PARCEL DOES NOT EXIST. IT WAS CREATED IN ERROR. IT IS A DUPLICATE WITH PARCEL HI.IA. DELETE PER MAPPING OFFICE.

All of which is ordered to be certified to the Auditor of the State of West Virginia and the Sheriff of WOOD County

Date	Transaction Type	Class	Amount	Tax Rate	Tax Class	Net Value
07/01/2014	BILLING	2	41.78	1.105200	2	3,780
03/31/2015	PENDING EXONERATION	2	-41.78	1.105200	2	-3,780
Adjusted Net Taxes						0
Adjusted Net Value						0

Map 250 Parcel 0041001A

Roger N. Deem
Taxpayer

Prosecutor

Assessor

Robert F. ...
Commissioner

County Commission President

Commissioner

At a regular session of the County Commission of Wood County, West Virginia, held at the Courthouse of said County, The County Commission did approve this exoneration on May 4, 2015

RECEIVED

APR 06 2015

County Administrator

By: Karen Degraef

Wood County Commission

Erroneous Assessment Application

Tax Type: Real Estate

Tax Ticket: 26681 ✓

Tax Year: 2014 ✓

Description
STRIP 5X135 NICELYVILLE

5/4/15
7/1/15

Upon the application of **STALLINGS BERT & NADA** whose address is **701 VIRGIL ST PARKERSBURG, WV 26101-6029** aggrieved by an erroneous assessment in **PARKERSBURG District (05) Map 145 Parcel 00510000**, in the County of Wood, for the **2014** tax year.

The County Commission therefore, orders that the said applicant be and hereby exonerated from the said erroneous assessment and from the payment of the taxes so assessed in and for the **2014** tax year.

If the taxes have been paid the Sheriff shall refund the same to them; or if more than a year from the time the property books were delivered to the Sheriff for the the affected tax year, the Sheriff shall allow a credit on future taxes payable.

Property was purchased by the City of Parkersburg, which is tax exempt. Property is exempt for this tax year.

All of which is ordered to be certified to the Auditor of the State of West Virginia and the Sheriff of WOOD County

Date	Transaction Type	Class	Amount	Tax Rate	Tax Class	Net Value
07/01/2014	BILLING	2	0.88	1.468400	2	60
04/07/2015	PENDING EXONERATION	2	-0.88	1.468400	2	0
Adjusted Net Taxes						60
Adjusted Net Value						60

Map 145 Parcel 00510000

Rich Stoffel
Taxpayer

John [Signature]
Prosecutor

Rich Stoffel
Assessor

Rob [Signature]
Commissioner

[Signature]
County Commission President

Commissioner

At a regular session of the County Commission of Wood County, West Virginia, held at the Courthouse of said County, The County Commission did approve this exoneration on May 4, 2015

RECEIVED

APR 07 2015



County Administration

Wood County Commission

Erroneous Assessment Application

Tax Type: Real Estate

Description

TRI PCL OF N END #1 ,05-A
(COM ACC 145/23,24,34,36&37
12.37-A)

Tax Ticket: 12291

Tax Year: 2014

Upon the application of **STRUCTURES RESOURCES INC** whose address is **5187 US RT 60 E STE 13 HUNTINGTON, WV 25705-2076** aggrieved by an erroneous assessment in **PARKERSBURG DISTRICT District (04) Map 145 Parcel 00200000**, in the County of Wood, for the **2014** tax year.

The County Commission therefore, orders that the said applicant be and hereby exonerated from the said erroneous assessment and from the payment of the taxes so assessed in and for the **2014** tax year.

If the taxes have been paid the Sheriff shall refund the same to them; or if more than a year from the time the property books were delivered to the Sheriff for the the affected tax year, the Sheriff shall allow a credit on future taxes payable.

Property was purchased by the City of Vienna, which is tax exempt. See attached deed.

All of which is ordered to be certified to the Auditor of the State of West Virginia and the Sheriff of WOOD County

Date	Transaction Type	Class	Amount	Tax Rate	Tax Class	Net Value
07/01/2014	BILLING	3	11,180.20	2.210400	3	505,800
05/04/2015	PENDING EXONERATION	3	-5,590.10	2.210400	3	0
Adjusted Net Taxes				Adjusted Net Value		505,800

Map 145 Parcel 00200000

Rich Stoff
Taxpayer

Gar Collins
Prosecutor

Rich Stoff
Assessor

Robert F. ...
Commissioner

Stephen ...
County Commission President

Paul ...
Commissioner

At a regular session of the County Commission of Wood County, West Virginia, held at the Courthouse of said County, The County Commission did approve this exoneration on *May 4, 2015*

RECEIVED

MAY 04 2015

County Administrator

By: Kerri Lincicome

Application Printed On

Monday, May 4, 2015 10:15 am

Wood County Commission

Erroneous Assessment Application

Tax Type: Real Estate
 Tax Ticket: 12292
 Tax Year: 2014

Description
 TCT 3.10-A OHIO RIVER
 (COM ACC 145/30-33&35 15.23-A)

5/4/15
 7/1/15

Upon the application of **STRUCTURES RESOURCES INC** whose address is **5187 US RT 60E STE 13 HUNTINGTON, WV 25705-2076** aggrieved by an erroneous assessment in **PARKERSBURG DISTRICT District (04) Map 145 Parcel 00290000**, in the County of Wood, for the **2014** tax year.

The County Commission therefore, orders that the said applicant be and hereby exonerated from the said erroneous assessment and from the payment of the taxes so assessed in and for the **2014** tax year.

If the taxes have been paid the Sheriff shall refund the same to them; or if more than a year from the time the property books were delivered to the Sheriff for the the affected tax year, the Sheriff shall allow a credit on future taxes payable.

Property was purchased by the City of Vienna, which is tax exempt. See attached deed.

All of which is ordered to be certified to the Auditor of the State of West Virginia and the Sheriff of WOOD County

Date	Transaction Type	Class	Amount	Tax Rate	Tax Class	Net Value
07/01/2014	BILLING	3	4,175.00	2.210400	3	188,880
05/04/2015	PENDING EXONERATION	3	-2,087.50	2.210400	3	0
Adjusted Net Taxes				Adjusted Net Value		188,880

Map 145 Parcel 00290000

 Taxpayer
 Prosecutor
 Assessor

 Commissioner
 Commissioner President
 Commissioner

At a regular session of the County Commission of Wood County, West Virginia, held at the Courthouse of said County, The County Commission did approve this exoneration on May 7, 2015

RECORDED
MAY 14 2015
 County Administrator

Check Register Report for Wood County Commission

Check No 1636 **Vendor Id** MONPOWER **Vendor Name** MON POWER **Type** REGULAR **Check Date** 04/24/2015 **Check Amount** 1,631.04 **Rec**

GENERAL FUND Bank Id 101 Totals
1,631.04
Report Totals
1,631.04

Two handwritten signatures in black ink are present. The signature on the left is larger and more stylized, while the one on the right is smaller and more compact.


Check Register Report for Wood County Commission

Check No	Vendor Id	Vendor Name	Type	Check Date	Check Amount	Rec
5277	DAVIS D	DONNA DAVIS	REGULAR	04/28/2015	200.00	
TEEN DRUG COURT Bank Id 177 Totals						200.00

Two handwritten signatures in black ink are present. The signature on the left is written vertically and appears to be 'M. Davis'. The signature on the right is written horizontally and appears to be 'D. Davis'.

Check Register Report for Wood County Commission

Check No	Vendor Id	Vendor Name	Type	Check Date	Check Amount	Rec
5890	LABANS	LABANS TRAININGS	REGULAR	04/28/2015	47.50	
5891	LANCE	PHYLISS LANCE	REGULAR	04/28/2015	550.00	
5892	MONPOWER	MON POWER	REGULAR	04/28/2015	90.81	
5893	NAADAC	NAADAC	REGULAR	04/28/2015	120.00	
5894	OLD COLONY J	OLD COLONY REALTORS	REGULAR	04/28/2015	1,100.00	
5895	RICOH	RICOH USA INC	REGULAR	04/28/2015	350.44	
5896	WOOD CO S	WOOD CO SENIOR CITIZENS ASSOCIATION INC.	REGULAR	04/28/2015	1,500.00	
COMM.CRIMINAL JUSTICE FUND Bank Id 172 Totals					3,758.75	




Check Register Report for Wood County Commission

Check No	Vendor Id	Vendor Name	Type	Check Date	Check Amount	Rec
6156	CAS CABLE	CAS CABLE	REGULAR	04/28/2015	500.00	
6157	CHAPMAN	CHAPMAN PRINTING CO. INC	REGULAR	04/28/2015	60.15	
6158	NOE OFFIC	NOE OFFICE EQUIPMENT	REGULAR	04/28/2015	87.50	
6159	ODEPOT	OFFICE DEPOT	REGULAR	04/28/2015	238.96	
6160	SMC	SMC COMMUNICATIONS	REGULAR	04/28/2015	71.62	
6161	SUDDENLINKD	SUDDENLINK	REGULAR	04/28/2015	252.20	
6162	TIANO	TIANO-KNOPP ASSOC., INC.	REGULAR	04/28/2015	1,500.00	
6163	WINANS	WINANS SERVICES	REGULAR	04/28/2015	265.73	

E-911 FUND Bank Id 107 Totals

2,976.36

Check Register Report for Wood County Commission

Check No	Vendor Id	Vendor Name	Type	Check Date	Check Amount	Rec
1637	DENTAL	RENAISSANCE	REGULAR	04/28/2015	1,005.96	
158014	CARQUEST	CARQUEST	REGULAR	04/28/2015	363.67	
158015	CRMALCOM	CR MALCOM & ASSOCIATES	REGULAR	04/28/2015	55.00	
158016	CWS	CWS	REGULAR	04/28/2015	409.00	
158017	DEBARR	DEBARR TRUCKING CO. INC.	REGULAR	04/28/2015	290.49	
158018	DOMINIONH	DOMINION HOPE	REGULAR	04/28/2015	51.07	
158019	FEDERAL	FEDERAL EXPRESS CORP.	REGULAR	04/28/2015	30.04	
158020	FORE TIMB	FORE TIMBER COMPANY INC	REGULAR	04/28/2015	739.71	
158021	FRONTIERWV	FRONTIER WEST VIRGINIA INC	REGULAR	04/28/2015	3,230.00	
158022	GLOBAL	GLOBAL GOVED SOLUTIONS INC	REGULAR	04/28/2015	291.94	
158023	GRAINGER	GRAINGER	REGULAR	04/28/2015	61.20	
158024	HALO	HALO BRANDED SOLUTIONS INC	REGULAR	04/28/2015	1,949.50	
158025	HEAVENLY HAM	THE HONEY BAKED HAM COMPANY	REGULAR	04/28/2015	318.64	
158026	HUMANE SO	HUMANE SOCIETY	REGULAR	04/28/2015	22,583.33	
158027	MODERNM	MODERN MARKETING	REGULAR	04/28/2015	373.49	
158028	NOE OFFIC	NOE OFFICE EQUIPMENT	REGULAR	04/28/2015	78.75	
158029	OEPOT	OFFICE DEPOT	REGULAR	04/28/2015	519.38	
158030	PLANET	PLANET TECHNOLOGIES	REGULAR	04/28/2015	274.80	
158031	VERIZONW	VERIZON WIRELESS	REGULAR	04/28/2015	65.69	
158032	WALMART	WALMART	REGULAR	04/28/2015	164.25	
GENERAL FUND Bank Id 101 Totals					32,855.86	



Check Register Report for Wood County Commission

Check No	Vendor Id	Vendor Name	Type	Check Date	Check Amount	Rec
158033	AMERICAN	AFLAC	REGULAR	04/30/2015	275.34	
158034	CONSECOLIFE	CONSECO LIFE INSURANCE COMPANY	REGULAR	04/30/2015	169.04	
158035	INGNATIONAL	VOYA FINANCIAL	REGULAR	04/30/2015	45.00	
158036	MOVUNITED	UNITED WAY ALLIANCE OF THE MOV INC.	REGULAR	04/30/2015	45.00	
158037	NRS	NATIONWIDE RETIREMENT SOLUTIONS	REGULAR	04/30/2015	2,925.83	
158038	PHEAA	PHEAA	REGULAR	04/30/2015	128.95	
158039	PUBLIC DE	ONE COMMUNITY FEDERAL CREDIT UNION	REGULAR	04/30/2015	15,259.00	
158040	WASHINGTONH	WASHINGTON NATIONAL INSURANCE CO.	REGULAR	04/30/2015	1,435.74	
158041	WESTERNNSO	WESTERN & SOUTHERN LIFE	REGULAR	04/30/2015	551.38	
158042	WESTFIELD	LINCOLN FINANCIAL GROUP	REGULAR	04/30/2015	62.00	
158043	WVLOAN	WV CONSOLIDATED PUBLIC RETIREMENT BOARD	REGULAR	04/30/2015	447.48	
PAYROLL FUND Bank Id 101 Totals						
					21,344.76	
Report Totals						
					21,344.76	

Check Register Report for Wood County Commission

Check No 1638 Vendor Id DENTAL Vendor Name RENAISSANCE Type REGULAR Check Date 04/29/2015 Check Amount 1,142.70 Rec

GENERAL FUND Bank Id 101 Totals 1,142.70
Report Totals 1,142.70

Two handwritten signatures in black ink. The first signature is on the left and the second is on the right, both appearing to be initials or a stylized name.

Check Register Report for Wood County Commission

Check No	Vendor Id	Vendor Name	Type	Check Date	Check Amount	Rec
1639	IRS-PAY	INTERNAL REVENUE SERVICE	REGULAR	04/30/2015	80,613.55	
1640	CHILD	CHILD SUPPORT ENF DIV	REGULAR	04/30/2015	1,814.60	
1641	FSA	TASC	REGULAR	04/30/2015	2,947.00	
1642	WV ST TX	WV STATE TAX COMM- INCOME	REGULAR	04/30/2015	24,114.20	
1643	OH ST TX	TREASURER OF STATE OF OHIO	REGULAR	04/30/2015	641.31	
1644	WV DEPUTY	WV DEPUTY SHERIFF'S RETIREMENT	REGULAR	04/30/2015	26,554.49	
1645	WV RETIRE	WV PUBLIC EMP RETIREMENT	REGULAR	04/30/2015	94,855.55	
158033	AMERICAN	AFLAC	REGULAR	04/30/2015	275.34	
158034	CONSECOLIFE	CONSECO LIFE INSURANCE COMPANY	REGULAR	04/30/2015	169.04	
158035	INGNATIONAL	VOYA FINANCIAL	REGULAR	04/30/2015	45.00	
158036	MOVUNITED	UNITED WAY ALLIANCE OF THE MOV INC.	REGULAR	04/30/2015	45.00	
158037	NRS	NATIONWIDE RETIREMENT SOLUTIONS	REGULAR	04/30/2015	2,925.83	
158038	PHEAA	PHEAA	REGULAR	04/30/2015	128.95	
158039	PUBLIC DE	ONE COMMUNITY FEDERAL CREDIT UNION	REGULAR	04/30/2015	15,259.00	
158040	WASHINGTONH	WASHINGTON NATIONAL INSURANCE CO.	REGULAR	04/30/2015	1,435.74	
158041	WESTERNSO	WESTERN & SOUTHERN LIFE	REGULAR	04/30/2015	551.38	
158042	WESTFIELD	LINCOLN FINANCIAL GROUP	REGULAR	04/30/2015	62.00	
158043	WVLOAN	WV CONSOLIDATED PUBLIC RETIREMENT BOARD	REGULAR	04/30/2015	447.48	
PAYROLL FUND Bank Id 101 Totals					252,885.46	
Report Totals					252,885.46	





Check Register

Company Name Wood County Commission Page 1 of 8 Run Date 04/28/2015 12:59:05PM

Check No.	Type	Check Date	Employee Id	Employee Name	Amount
28136	R	Thursday, April 30, 2015	COUCDAVI	COUCH DAVID BLAIR	\$1,294.36
28137	R	Thursday, April 30, 2015	FORSBARB	FORSHEY BARBARA S.	\$694.75
28138	R	Thursday, April 30, 2015	JONECARO	JONES CAROLE S.	\$937.02
28139	R	Thursday, April 30, 2015	SMITJANE	SMITH JANET	\$265.23
28140	R	Thursday, April 30, 2015	STEPGENE	STEPHENS GENEVA A.	\$219.73
28141	R	Thursday, April 30, 2015	WILLTRAC	WILLIAMS TRACY A.	\$927.01
28142	R	Thursday, April 30, 2015	SHAFROBE	SHAFFER ROBERT D.	\$1,480.81
28143	R	Thursday, April 30, 2015	VALESTEV	VALENTINE STEVEN M.	\$955.97
28144	R	Thursday, April 30, 2015	ALLEJASO	ALLEN JASON WAYNE	\$1,255.81
28145	R	Thursday, April 30, 2015	FRAZRONA	FRAZIER RONALD CHARLES	\$873.99
28146	R	Thursday, April 30, 2015	JOHNCHAR	JOHNSON CHARLES J.	\$871.91
28147	R	Thursday, April 30, 2015	MASSDAVI	MASSEY II DAVID C.	\$1,120.18
28148	R	Thursday, April 30, 2015	MURPJAME	MURPHY JAMES T.	\$718.58
28149	R	Thursday, April 30, 2015	RIFFWILLI	RIFFLE WILLIAM B.	\$1,291.84
28150	R	Thursday, April 30, 2015	SMITJOAN	SMITH JOANNE	\$830.69
28151	R	Thursday, April 30, 2015	SMITMATT	SMITH MATTHEW F.	\$674.21
28152	R	Thursday, April 30, 2015	STEPKENT	STEPHENS KENT MICHAEL	\$1,209.22
28153	R	Thursday, April 30, 2015	WILFGARY	WILFONG GARY F.	\$752.66
28154	R	Thursday, April 30, 2015	WOODRICK	WOODYARD RICKEY L.	\$1,284.16
241072	R	Thursday, April 30, 2015	DENNAMAN	DENNIS AMANDA JO	\$880.92
241073	R	Thursday, April 30, 2015	FLEASTAC	FLEAK STACEY LYNN	\$712.00
241074	R	Thursday, April 30, 2015	GAINSTEP	GAINER STEPHEN E.	\$597.46
241075	R	Thursday, April 30, 2015	GALBJAME	GALBREATH JAMES R.	\$356.11
241076	R	Thursday, April 30, 2015	GERLROBE	GERLACH ROBERT L.	\$318.47
241077	R	Thursday, April 30, 2015	GRAHANGE	GRAHAM ANGELA M.	\$669.59
241078	R	Thursday, April 30, 2015	ROBEKEVI	ROBERTS KEVIN W.	\$140.04
241079	R	Thursday, April 30, 2015	SEUFMART	SEUFER MARTIN A.	\$1,956.73
241080	R	Thursday, April 30, 2015	TEBAROBE	TEBAY ROBERT K.	\$1,203.59
241081	R	Thursday, April 30, 2015	WHITCHRII	WHITTAKER CHRISTOPHER H.	\$1,077.93

Check Register

Company Name Wood County Commission Page 2 of 8 Run Date 04/28/2015 12:59:05PM

Check No.	Type	Check Date	Employee Id	Employee Name	Amount
241082	R	Thursday, April 30, 2015	YONIMICH	YONIS III MICHAEL F.	\$701.61
241083	R	Thursday, April 30, 2015	ATKICARA	ATKINSON CARA	\$1,176.39
241084	R	Thursday, April 30, 2015	BEARELIZ	BEARY ELIZABETH	\$1,098.42
241085	R	Thursday, April 30, 2015	BECKCARO	BECKETT CAROLYN J.	\$930.62
241086	R	Thursday, April 30, 2015	BLONBREN	BLONDIN BRENDA S.	\$977.67
241087	R	Thursday, April 30, 2015	DEVOMART	DEVORE MARTHA JANE	\$1,182.27
241088	R	Thursday, April 30, 2015	DOTSLESL	DOTSON LESLIE RENEE	\$895.65
241089	R	Thursday, April 30, 2015	EMRIKATH	EMRICK KATHRYN S.	\$1,051.51
241090	R	Thursday, April 30, 2015	FORDTAMM	FORDYCE TAMMY L.	\$1,081.07
241091	R	Thursday, April 30, 2015	GARRDIAN	GARRETT DIANA KAY	\$1,171.27
241092	R	Thursday, April 30, 2015	GIVEPENN	GIVENS PENNY G.	\$1,152.49
241093	R	Thursday, April 30, 2015	JOHNBARB	JOHNSTON BARBARA A.	\$1,295.13
241094	R	Thursday, April 30, 2015	JORDPATR	JORDAN PATRICIA D.	\$980.30
241095	R	Thursday, April 30, 2015	MCBRRUTH	MCBRIDE RUTH A.	\$1,157.65
241096	R	Thursday, April 30, 2015	RHODMARK	RHODES MARK D.	\$1,548.47
241097	R	Thursday, April 30, 2015	ROSSMELO	ROSS MELODY L.	\$1,258.00
241098	R	Thursday, April 30, 2015	SCHUDENI	SCHUCK DENISE E.	\$1,006.01
241099	R	Thursday, April 30, 2015	SHRISAMM	SHRIVER SAMMATHA A.	\$1,014.77
241100	R	Thursday, April 30, 2015	BEESEJANE	BEESON JANET C.	\$597.51
241101	R	Thursday, April 30, 2015	BONNLIND	BONNETT LINDA L.	\$703.12
241102	R	Thursday, April 30, 2015	BUTCTIFF	BUTCHER TIFFANY J.	\$1,084.30
241103	R	Thursday, April 30, 2015	ELROMARJ	ELROD MARJORIE D.	\$691.60
241104	R	Thursday, April 30, 2015	JACKDEBO	JACKS DEBORAH KAY	\$702.17
241105	R	Thursday, April 30, 2015	KAUFDENI	KAUFMAN DENISE A.	\$714.97
241106	R	Thursday, April 30, 2015	OCONMONA	O'CONNOR MONA L.	\$192.93
241107	R	Thursday, April 30, 2015	REEDMEGA	REEDER MEGAN N.	\$611.52
241108	R	Thursday, April 30, 2015	RIDGCELE	RIDGWAY CELESTE A.	\$312.48
241109	R	Thursday, April 30, 2015	ROBIMICH	ROBINSON MICHELE LYNN	\$1,035.81
241110	R	Thursday, April 30, 2015	WALTTERE	WALTERS TERESA G.	\$818.37
241111	R	Thursday, April 30, 2015	BALOMARY	BALOG MARY JANE	\$931.73
241112	R	Thursday, April 30, 2015	BURDAPRI	BURDETTE APRIL D.	\$893.72
241113	R	Thursday, April 30, 2015	DUFFDEBR	DUFFELMEYER DEBRA KAY	\$812.42
241114	R	Thursday, April 30, 2015	FLORMARS	FLORENCE MARSHA K.	\$712.23
241115	R	Thursday, April 30, 2015	GIBSCAND	GIBSON CANDACE M.	\$550.97
241116	R	Thursday, April 30, 2015	HENDPAUL	HENDERSHOT PAULA J.	\$596.92

Check Register

Company Name Wood County Commission Page 3 of 8 Run Date 04/28/2015 12:59:05PM

Check No.	Type	Check Date	Employee Id	Employee Name	Amount
41117	R	Thursday, April 30, 2015	HUGGTRAC	HUGGINS TRACIE M.	\$744.43
41118	R	Thursday, April 30, 2015	LOUGMEAG	LOUGH MEAGAN N.	\$1,027.75
41119	R	Thursday, April 30, 2015	MACEJEFF	MACE JEFFREY S.	\$602.18
41120	R	Thursday, April 30, 2015	MERCSTAC	MERCER STACIE D.	\$697.26
41121	R	Thursday, April 30, 2015	MERRKENN	MERRITT KENNETH D.	\$1,514.21
41122	R	Thursday, April 30, 2015	STEPSAND	STEPHENS SANDRA K.	\$772.61
41123	R	Thursday, April 30, 2015	TRANROBE	TRANQUILL ROBERT J.	\$1,791.64
41124	R	Thursday, April 30, 2015	BOYLJODI	BOYLEN JODIE	\$1,825.69
41125	R	Thursday, April 30, 2015	FRANSEAN	FRANCISCO SEAN D.	\$1,788.24
41126	R	Thursday, April 30, 2015	GUICRHEA	GUICE RHEA LYNN	\$483.76
41127	R	Thursday, April 30, 2015	JOHNJENN	JOHNSON JENNIFER L.	\$876.90
41128	R	Thursday, April 30, 2015	KIGETIFF	KIGER TIFFANY F.	\$1,048.15
41129	R	Thursday, April 30, 2015	LEFEKIRS	LEFEBURE KIRSTEN R.	\$1,556.56
41130	R	Thursday, April 30, 2015	LEFEPATR	LEFEBURE PATRICK O.	\$2,111.17
41131	R	Thursday, April 30, 2015	LEWIA	LEWIS A. RACHEL	\$1,069.34
41132	R	Thursday, April 30, 2015	MCGHNANC	MCGHEE NANCY L.	\$1,371.96
41133	R	Thursday, April 30, 2015	MEEKKAYL	MEEKS KAYLA B.	\$364.22
41134	R	Thursday, April 30, 2015	ROUSPATR	ROUSH PATRICIA A.	\$733.52
41135	R	Thursday, April 30, 2015	RYDEDEBR	RYDER DEBRA K.	\$1,036.19
41136	R	Thursday, April 30, 2015	SKOGRUSS	SKOGSTAD RUSSELL J.	\$1,554.32
41137	R	Thursday, April 30, 2015	SMITKYLA	SMITH KYLA L.	\$200.98
41138	R	Thursday, April 30, 2015	UNDEMEGA	UNDERWOOD MEGAN E.	\$1,436.34
41139	R	Thursday, April 30, 2015	WHARJASO	WHARTON JASON ANDREW	\$2,357.97
41140	R	Thursday, April 30, 2015	WOLFJERE	WOLFE JEREMY B.	\$1,516.08
41141	R	Thursday, April 30, 2015	BOWMDONN	BOWMAN DONNA M.	\$580.20
41142	R	Thursday, April 30, 2015	COLEG	COLE G. MICHELL	\$476.85
41143	R	Thursday, April 30, 2015	EDELSARA	EDELEN SARAH J	\$737.31
41144	R	Thursday, April 30, 2015	ENOCKIMB	ENOCK KIMBERLY	\$761.81
41145	R	Thursday, April 30, 2015	MILLTESS	MILLER TESSA JO	\$416.06
41146	R	Thursday, April 30, 2015	SHAFRICH	SHAFFER RICHARD A.	\$355.05
41147	R	Thursday, April 30, 2015	WOLFJAIM	WOLFE JAIME	\$104.19
41148	R	Thursday, April 30, 2015	BUCKCYNT	BUCKINGHAM CYNTHIA A.	\$1,010.04
41149	R	Thursday, April 30, 2015	COTTLARR	COTTRELL LARRY DEAN	\$1,489.36
41150	R	Thursday, April 30, 2015	DEGRKARE	DEGRAEF KAREN SUE	\$780.35
41151	R	Thursday, April 30, 2015	GRIMDONA	GRIMM DONALD M.	\$833.40

Check Register

Company Name Wood County Commission Page 4 of 8 Run Date 04/28/2015 12:59:05PA

Check No.	Type	Check Date	Employee Id	Employee Name	Amount
41152	R	Thursday, April 30, 2015	HARTANDR	HARTLEBEN ANDREW P.	\$1,075.05
41153	R	Thursday, April 30, 2015	LINCKERR	LINCICOME KERRI	\$1,158.85
41154	R	Thursday, April 30, 2015	MCINRAYM	MCINTIRE RAYMOND JUNIOR	\$996.63
41155	R	Thursday, April 30, 2015	RADESTEV	RADER STEVE E.	\$673.59
41156	R	Thursday, April 30, 2015	TENKKEVI	TENNANT KEVIN D.	\$1,011.35
41157	R	Thursday, April 30, 2015	BRADRISH	BRADFORD RISHA LYNN	\$797.08
41158	R	Thursday, April 30, 2015	MARKREBE	MARKS REBECCA A.	\$425.03
41159	R	Thursday, April 30, 2015	SHAWLIND	SHAWVER LINDSEY A	\$700.96
41160	R	Thursday, April 30, 2015	JONEJOHN	JONES II JOHN DAVID	\$1,146.95
41161	R	Thursday, April 30, 2015	JONERONA	JONES JR RONALD L.	\$923.09
41162	R	Thursday, April 30, 2015	SPRADAVI	SPRAGUE DAVID A.	\$877.47
41163	R	Thursday, April 30, 2015	SWIGMELV	SWIGER MELVIN L.	\$1,546.85
41164	R	Thursday, April 30, 2015	TRAVSTEV	TRAVIS STEVEN W.	\$927.99
41165	R	Thursday, April 30, 2015	ALLEPEGG	ALLEN PEGGY SUE	\$1,119.28
41166	R	Thursday, April 30, 2015	ALLETIMO	ALLEN TIMOTHY L.	\$992.42
41167	R	Thursday, April 30, 2015	BLATWILL	BLATT WILLIAM ANTHONY	\$1,055.99
41168	R	Thursday, April 30, 2015	BROOMICH	BROOKOVER MICHAEL B.	\$923.28
41169	R	Thursday, April 30, 2015	BUSSDAVI	BUSSEY DAVID	\$1,088.61
41170	R	Thursday, April 30, 2015	BUTCBRJA	BUTCHER BRIAN M.	\$994.69
41171	R	Thursday, April 30, 2015	COCHMICH	COCHRAN MICHAEL L.	\$946.84
41172	R	Thursday, April 30, 2015	CROSDERE	CROSS DEREK B.	\$1,235.57
41173	R	Thursday, April 30, 2015	DAVMICH	DAVIS MICHAEL E.	\$557.79
41174	R	Thursday, April 30, 2015	DEEMGARYI	DEEM GARY MICHAEL	\$1,104.40
41175	R	Thursday, April 30, 2015	DEVORICK	DEVORE RICKY J.	\$287.30
41176	R	Thursday, April 30, 2015	EATOMICH	EATON MICHAEL W.	\$133.10
41177	R	Thursday, April 30, 2015	FOXGEOR	FOX GEORGE B.	\$595.56
41178	R	Thursday, April 30, 2015	GABBONEY	GABBERT ONEY JACOB	\$268.77
41179	R	Thursday, April 30, 2015	GEORRICH	GEORGE RICHARD A.	\$1,148.14
41180	R	Thursday, April 30, 2015	HAMRJEFF	HAMRIC JEFFREY K.	\$1,244.06
41181	R	Thursday, April 30, 2015	HOFMWALT	HOFMANN WALTER E.	\$200.62
41182	R	Thursday, April 30, 2015	HUPPMATT	HUPP MATTHEW C.	\$1,267.71
41183	R	Thursday, April 30, 2015	KEARLARR	KEARNS LARRY DEAN	\$791.74
41184	R	Thursday, April 30, 2015	KINGMARK	KING MARK E.	\$867.22
41185	R	Thursday, April 30, 2015	KOCHHANS	KOCHERSPERGER HANS RANDALL	\$1,144.00
41186	R	Thursday, April 30, 2015	LANDWILL	LANDERS WILLIAM M.	\$604.94

Check Register

Company Name Wood County Commission Page 5 of 8 Run Date 04/28/2015 12:59:05PM

Check No.	Type	Check Date	Employee Id	Employee Name	Amount
41187	R	Thursday, April 30, 2015	LAYTEDWA	LAYTON EDWARD J.	\$689.29
41188	R	Thursday, April 30, 2015	MARLTYLE	MARLOW TYLER D.	\$985.44
41189	R	Thursday, April 30, 2015	MATHDELL	MATHENY DELLA DESIREE	\$1,144.73
41190	R	Thursday, April 30, 2015	MODESHAN	MODESITT SHANA L.	\$551.14
41191	R	Thursday, April 30, 2015	PICKBRET	PICKENS BRETT A.	\$1,287.08
41192	R	Thursday, April 30, 2015	RITCMICH	RITCHIE MICHAEL B.	\$1,149.02
41193	R	Thursday, April 30, 2015	SCHAZACH	SCHAAD ZACHARY M.	\$1,275.31
41194	R	Thursday, April 30, 2015	SHRIANDR	SHRIVER ANDREW C.	\$1,258.90
41195	R	Thursday, April 30, 2015	SIMSROBE	SIMS ROBERT GENE	\$1,271.56
41196	R	Thursday, April 30, 2015	SIXCORY	SIX CORY B.	\$893.49
41197	R	Thursday, April 30, 2015	STEPBRAD	STEPHENS BRADY D.	\$119.67
41198	R	Thursday, April 30, 2015	SWIGBRIA	SWIGER BRIAN A.	\$1,032.37
41199	R	Thursday, April 30, 2015	TENNDAVI	TENNANT DAVID L.	\$774.48
41200	R	Thursday, April 30, 2015	THORCHAR	THORNTON CHARLES B.	\$426.51
41201	R	Thursday, April 30, 2015	TICEBICK	TICE BICKFORD LEE	\$222.37
41202	R	Thursday, April 30, 2015	TRANDEID	TRANQUILL DEIDRA	\$905.91
41203	R	Thursday, April 30, 2015	WADETERE	WADE TERESA JEAN	\$976.82
41204	R	Thursday, April 30, 2015	WALDCAMI	WALDRON CAMILLE S.	\$1,065.35
41205	R	Thursday, April 30, 2015	WETZJOHN	WETZEL JOHN CALEB	\$1,215.41
41206	R	Thursday, April 30, 2015	WHITROBE	WHITE, JR. ROBERT V.	\$137.54
41207	R	Thursday, April 30, 2015	WINDRYAN	WINDLAND RYAN D.	\$1,181.84
41208	R	Thursday, April 30, 2015	YONARONA	YONALEY RONALD L.	\$701.16
41209	R	Thursday, April 30, 2015	MERCSTEV	MERCER STEVEN E.	\$657.78
41210	R	Thursday, April 30, 2015	SAMSJULI	SAMS JULIA ANN	\$986.93
41211	R	Thursday, April 30, 2015	SAMSCURT	SAMS JR CURTIS M	\$104.79
41212	R	Thursday, April 30, 2015	ALLEJOHN	ALLEN JOHN C.	\$594.14
41213	R	Thursday, April 30, 2015	BEATPATR	BEATY PATRICK A	\$803.09
41214	R	Thursday, April 30, 2015	BOLEDONA	BOLEY JR DONALD	\$647.35
41215	R	Thursday, April 30, 2015	BROGGREGI	BROGDON GREGORY SCOTT	\$1,053.44
41216	R	Thursday, April 30, 2015	BROGGREG	BROGDON II GREGORY S	\$762.00
41217	R	Thursday, April 30, 2015	CRAVDANA	CRAVEN DANA J.	\$802.26
41218	R	Thursday, April 30, 2015	FORDDANI	FORDYCE DANIELLE D.	\$772.16
41219	R	Thursday, April 30, 2015	HARRMARK	HARRIS MARK C.	\$1,212.50
41220	R	Thursday, April 30, 2015	HELMSAND	HELMAN SANDRA KAY	\$763.09
41221	R	Thursday, April 30, 2015	JACOEJEFF	JACOBY JEFFREY S.	\$773.11

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Check No.	Type	Check Date	Employee Id	Employee Name	Amount
41222	R	Thursday, April 30, 2015	MYERLEE	MYERS LEE G.	\$962.68
41223	R	Thursday, April 30, 2015	PRUNJASO	PRUNTY JASON L.	\$773.97
41224	R	Thursday, April 30, 2015	SMITJONA	SMITH JONATHAN P.	\$792.73
41225	R	Thursday, April 30, 2015	SOMBEBRIA	SOMERVILLE BRIAN L.	\$793.26
41226	R	Thursday, April 30, 2015	STEPSTEV	STEPHENS STEVEN A.	\$986.73
41227	R	Thursday, April 30, 2015	ALLETHOM	ALLEN JR. THOMAS L.	\$747.26
41228	R	Thursday, April 30, 2015	CORNAMAN	CORNELL AMANDA	\$661.12
41229	R	Thursday, April 30, 2015	FARNSARA	FARNSWORTH SARAH JANE	\$630.33
41230	R	Thursday, April 30, 2015	JOYDAVI	JOY JR DAVID LEE	\$882.50
41231	R	Thursday, April 30, 2015	RADEBRIA	RADER BRIAN E.	\$899.36
41232	R	Thursday, April 30, 2015	HUPPEDWA	HUPP EDWARD H.	\$1,224.04
41233	R	Thursday, April 30, 2015	BLEVSARA	BLEVINS SARA DAWN	\$718.75
41234	R	Thursday, April 30, 2015	CUMBWHIT	CUMBERLEDGE WHITNEY M.	\$238.10
41235	R	Thursday, April 30, 2015	DELAKRIS	DELANEY KRISTIN N	\$925.15
41236	R	Thursday, April 30, 2015	DOTSDEBO	DOTSON DEBORA L.	\$1,233.25
41237	R	Thursday, April 30, 2015	DOTSTHOM	DOTSON THOMAS E.	\$1,061.26
41238	R	Thursday, April 30, 2015	FLEECARL	FLEENOR CARL AARON	\$1,469.40
41239	R	Thursday, April 30, 2015	GASKANTH	GASKINS ANTHONY P.	\$528.82
41240	R	Thursday, April 30, 2015	HOCKRUSS	HOCKENBERRY RUSSELL W.	\$1,246.95
41241	R	Thursday, April 30, 2015	JEFFMARY	JEFFERS MARY BETH	\$873.08
41242	R	Thursday, April 30, 2015	JONEDUAN	JONES DUANE EARL	\$1,256.67
41243	R	Thursday, April 30, 2015	KERNTERE	KERNS TERESA S.	\$1,018.18
41244	R	Thursday, April 30, 2015	KUHLJASO	KUHL JASON A.	\$935.25
41245	R	Thursday, April 30, 2015	LAYTSTAC	LAYTON STACIE A.	\$509.63
41246	R	Thursday, April 30, 2015	MARSROGE	MARSHALL ROGER L.	\$978.42
41247	R	Thursday, April 30, 2015	MATHDUST	MATHENY DUSTIN S.	\$919.87
41248	R	Thursday, April 30, 2015	MERCROBE	MERCER ROBERT E.	\$1,031.22
41249	R	Thursday, April 30, 2015	MOORDOUG	MOORE DOUGLAS I.	\$977.07
41250	R	Thursday, April 30, 2015	MORRSHIR	MORRIS SHIRLEY GILCHRIST	\$991.72
41251	R	Thursday, April 30, 2015	MURPJILL	MURPHY JILLIAN L.	\$1,021.50
41252	R	Thursday, April 30, 2015	NOKLADRI	NOKLEBY ADRIEN J.	\$1,150.36
41253	R	Thursday, April 30, 2015	PARRDANI	PARRISH DANIELLE	\$1,065.79
41254	R	Thursday, April 30, 2015	RIFFWILL	RIFFLE WILLIAM H.	\$1,364.87
41255	R	Thursday, April 30, 2015	RITCBLAI	RITCHIE JR BLAINE H.	\$142.90
41256	R	Thursday, April 30, 2015	SHEPRAND	SHEPHERD RANDALL F.	\$948.53

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Check No.	Type	Check Date	Employee Id	Employee Name	Amount
41257	R	Thursday, April 30, 2015	STAACHEL	STAATS CHELCIE S.	\$957.34
41258	R	Thursday, April 30, 2015	STALSARA	STALNAKER SARA S.	\$908.91
41259	R	Thursday, April 30, 2015	SWIGTERE	SWIGER TERESA D.	\$916.33
41260	R	Thursday, April 30, 2015	TAYLMEGA	TAYLOR MEGAN E	\$921.70
41261	R	Thursday, April 30, 2015	TENNDEBO	TENNANT DEBORAH A.	\$1,149.11
41262	R	Thursday, April 30, 2015	WINTGARY	WINTERS GARY D.	\$959.64
41263	R	Thursday, April 30, 2015	BUNNTRAV	BUNNER TRAVIS N.	\$866.18
41264	R	Thursday, April 30, 2015	CHURAMY	CHURCH AMY SPENCER	\$1,298.27
41265	R	Thursday, April 30, 2015	DELAJEFF	DELANCEY JEFFREY M.	\$787.51
41266	R	Thursday, April 30, 2015	EASTAMY	EASTHOM AMY JEANNETTE	\$1,003.03
41267	R	Thursday, April 30, 2015	ESCAHERN	ESCANDON HERNANDO	\$1,538.85
41268	R	Thursday, April 30, 2015	GREAPRIS	GREATHOUSE PRISCILLA R	\$345.76
41269	R	Thursday, April 30, 2015	HINTROBE	HINTON JR ROBERT R.	\$855.15
41270	R	Thursday, April 30, 2015	LEMLLIND	LEMLEY LINDY ROCHELLE	\$952.24
41271	R	Thursday, April 30, 2015	LYNCPATR	LYNCH PATRICA R.	\$814.48
41272	R	Thursday, April 30, 2015	MURPDEBO	MURPHY DEBORAH KAY	\$901.36
41273	R	Thursday, April 30, 2015	NGUYOUYE	NGUYEN QUYEN T.	\$925.21
41274	R	Thursday, April 30, 2015	NUTTKATI	NUTTER KATIE J.	\$846.60
41275	R	Thursday, April 30, 2015	PAXTHEAT	PAXTON HEATHER L.	\$1,002.88
41276	R	Thursday, April 30, 2015	PICCCJORU	PICCIANO JORUN K	\$676.95
41277	R	Thursday, April 30, 2015	PRESKELS	PRESTON KELSEY A.	\$982.93
41278	R	Thursday, April 30, 2015	SAUNMEGA	SAUNDERS MEGAN L.	\$458.25
41279	R	Thursday, April 30, 2015	SINGJANA	SINGER-DOWLER JANA L.	\$1,295.01
41280	R	Thursday, April 30, 2015	THOMJAME	THOMAS JAMES X	\$287.82
41281	R	Thursday, April 30, 2015	WEBBRYAN	WEBB RYAN C.	\$214.70
41282	R	Thursday, April 30, 2015	WISESHER	WISE SHERRY L.	\$1,094.25
41283	R	Thursday, April 30, 2015	CROSSJERE	CROSS JEREMY W.	\$1,526.17
Total Net Pay					209,717.43

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Run Date 04/28/2015

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Check No. Tmps Check Date

Employee Id

Employee Name

Amount

04/28/2015

<u>State</u>	<u>State Gross</u>	<u>State W/H</u>
OH	14,638.61	317.70
WV	283,395.26	12,082.54
Grand Total:	298,033.87	12,400.24